



## CITY OF SOUTHPORT

Historic Preservation Commission  
Indian Trail Meeting Hall, 113 W. Moore Street  
December 3, 2025  
4:00 P.M.

### AGENDA

Please turn off all cell phones

The Historic Preservation Commission's regular monthly meeting will be held at 4:00 p.m. on the first Wednesday of each month. All members are asked to attend.

- A. Call to Order**
- B. Invocation**
- C. Pledge of Allegiance**
- D. Approval of Agenda**
- E. Approval of Minutes**
  - 1. July 28, 2025, Historic Preservation Commission Meeting Minutes
  - 2. September 3, 2025, Historic Preservation Commission Meeting Minutes
  - 3. August 22, 2025, Historic Preservation Commission Minutes
- F. Public Comment**
- G. Old Business**
  - 1. Annual Meeting
    - Annual Report
    - 2026 Regular Schedule Meeting Calendar
  - 2. Discussion of Board of Aldermen Inquiries on Proposed Local Historic District Standards
- H. New Business**
- I. Other Business**
- J. Announcements**
- K. Adjourn**



CITY OF SOUTHPORT  
HISTORIC PRESERVATION COMMISSION  
REGULAR MEETING  
July 28, 2025  
2:00 PM  
Minutes

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**Members Present:**

Chair Charles Drew  
Vice Chair Bonnie Bray  
Joanne Wesson  
Katherine Hufham  
Bonner Herring  
Tal West  
Alexis Gore-Graves  
Jim McKee  
Josh Cline McGee

**Staff Present:**

Maureen Meehan, Planning Services Director  
Penny Tysinger, Historic Preservation Commission Planner  
Tori Deviney, Deputy Clerk

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- A. Chair Drew called the meeting to order at **2:00 PM**.
- B. Ms. Graves gave the Invocation.
- C. Chair Drew led everyone in the Pledge of Allegiance.
- D. **Approval of Agenda**

A motion to approve the agenda was made by Mr. McKee and seconded by Ms. Wesson. Motion passed unanimously.

**E. Public Comment**

**Robert Palmeter, 308 N. Dry Street**

Asked for clarification about properties marked as “study areas” on the historic district map and questioned whether there are fees for a Certificate of Appropriateness (COA), and expressed the view that Historic Preservation members should reside within the historic district.

**Tom Gregory, 230 N. Caswell Avenue**

Voiced concern that the yacht basin is excluded from the historic district, stressing its historic importance and role in the city’s character.

**Andrew Laing, 6217 Pebble Shore Lane**

Stated that while he believed the guidelines could ultimately be a good thing for the City, he urged members to also consider the perspective of property owners and developers. He noted that his project might be the first to come before the Commission and explained that demolition of the existing building was very likely due to cost factors. He stressed that while many developers and owners would be willing to work with the Commission; approval timelines should be shortened. He shared that it had already taken two and a half years to secure a zoning permit for his project with Bull Frog Corner and urged the Commission to consider the impact of lengthy processes on those trying to invest in the community.

**F. Old Business**

1. Review of Public Hearing Comments from 7/1/2025 Board of Aldermen Meeting  
Debbie Barnes’ questions were reviewed. She asked for clarification on grandfathering of existing conditions and whether changes would be required going forward. She also referenced issues such as purchasing windows, hurricane shutters, and temporary air conditioning solutions. The Commission acknowledged her comments but did not have any additional comments to add.

Chair Drew reminded members that the commission cannot alter the guidelines directly at this stage but may recommend changes to the Board of Aldermen (BOA). Several members, including Vice Chair Bray and Mr. McGee, suggested strengthening the document’s introductory section to emphasize the goals of preservation and the intent to protect Southport’s character. Members agreed that without this context, provisions may be misinterpreted as overly restrictive.

Director Meehan explained that while installing a permanent fixture, such as a window unit, on the front of a building would not be appropriate, staff understood that emergency situations may arise. In such cases, staff would be willing to work with property owners to find temporary solutions.

Mr. McKee specified that while this was acceptable for the present, the Commission must remain careful about setting precedents. He stressed that the Commission’s role was not to act as an HOA and noted the group had been working on these matters for three years. He emphasized the need to “make sure it’s right” even if that required additional time.

Vice Chair Bray shared her concern that statements made during previous meetings were not fully reflected in the written draft. She pointed out that the language in the document used phrasing such as “if possible,” which could weaken intent. She recommended inserting language early in the document to state clearly that the overall goal is to maintain Southport’s historic character. In her view, adding one or two paragraphs of intent at the

beginning would help guide future interpretation while still allowing flexibility as circumstances evolve.

Mr. McGee agreed with Vice Chair, Bray, stating that such framing should be upfront. He also raised concerns with language under the July 10th section titled *Site and Setting*, noting that it included provisions on tree removal and air conditioning placement that might be inappropriate. He argued that those elements should be reconsidered or removed.

Mr. McKee countered that many of those issues were already covered under existing city ordinances. Mr. McGee replied that in some cases the draft risked overstepping the Unified Development Ordinance (UDO).

Chair Drew responded by recalling that the Commission had previously steered away from regulating landscaping directly, instead relying on the UDO to enforce those items. He stated that he wanted to strike provisions related to tree removal, plantings, and minor COA alterations, noting that they could create complications if left in. As an example, he described a historic home on East Moore Street where the removal of a single bush would effectively eliminate the property's entire yard. He emphasized that the guidelines were intended as recommendations for the Board of Aldermen's consideration and cautioned that if the Commission began dissecting these landscaping provisions further, it could require restarting the entire process.

Mr. McGee asked how the Commission should summarize. Chair Drew recommended providing a summary to Director Meehan, who could then deliver the recommendations to the Board of Aldermen.

Mr. McKee raised the question of fences and walls, particularly in front yards, and asked how much of that topic is already addressed in the UDO. He suggested that a careful review be done to identify areas of overlap.

Chair Drew cautioned the group against becoming too deeply involved in every detail, stating that it was important to include provisions that reflected the public's concerns. He emphasized the need for public buy-in. He reflected on how he had recently walked past the Brunswick Inn and would hate to see a situation where someone purchased the property only to demolish it.

Mr. Herring agreed but observed that he did not believe the current owners would take such an action. He stressed the importance of protecting properties for the future. He compared his comments to those made by Mr. Jesse Pierce at a recent Board of Aldermen meeting, explaining that he believed current owners should be exempt. He reflected on Southport's heritage as a fishing town and remarked that while that identity has changed, the Commission should remain mindful of balancing protection by reducing burdens on present property owners. Mr. Herring shared that some residents felt the document-imposed restrictions such as living in a homeowners' association (HOA). He reiterated that he would favor exemptions for current owners.

Vice Chair, Bray, then, asked how such an exemption could be structured. Mr. Herring responded that he would support exemptions for current owners and their direct descendants, but not for future third-party purchasers.

Mr. West reminded the group that the Board of Adjustment exists to handle exceptions on a case-by-case basis, particularly for unique hardships or unusual circumstances. He emphasized that the goal was not to burden existing property owners but to guard against developers that would undermine Southport's historic character. He emphasized that the community must focus on preservation because outside developers are not invested in the town's future; "they are not your friends; they are coming in to take our money and leave after they are done."

Mr. Herring responded that, while he understood Mr. West's concern, it was also important to balance regulation with allowing property owners to make a fair profit, referencing "the Bull Frog corner guy" as an example.

Chair Drew reminded the group that the guidelines themselves do not prevent demolitions. He stressed that not every property owner would act with the same commitment as individuals "like a Bonner Herring or a Joey Pierce." To illustrate, he recalled his experience as Code Enforcement Officer with the Alberta McCloud house. In that case, despite efforts to save the property, one heir refused to sign off, ultimately forcing demolition.

Mr. Herring acknowledged Chair Drew's point but reiterated his belief that exemptions for current owners represented a fair solution and a reasonable compromise. He stated that this approach would allow the Commission to protect the community while not overly burdening present property holders.

Vice Chair Bray raised the question of what would happen in situations with multiple owners. Chair Drew replied that such cases often lead to dilapidated houses, with heirs unable to agree on the property's future, eventually resulting in the house being demolished. He expressed doubt that the Commission could fully resolve such inheritance-based complications.

Ms. Wesson shared that during the Christmas Historic Homes Tour, she often receives requests for brochures, even from people outside Southport who appreciate the town's character. Ms. Wesson also noted the AMUZU Theatre, observing that while it would be cheaper to tear it down, the owner remains committed to preserving it, reflecting the community's values.

Discussion returned to the draft document, particularly the section on *Site and Setting*. Chair Drew and several members agreed that landscaping provisions, including tree removal and plantings in rear or side yards, should be struck, as those areas are already regulated under the UDO.

Mr. McGee proposed that everything listed under *Site and Setting* (pages 15–16) currently classified as a minor COA, be removed, except for alterations to docks, piers, and bulkheads, which should remain as a minor COA. He also recommended leaving in the installation of window units and fans as a minor COA. Mr. Mckee noted that docks, piers, and bulkheads fall under CAMA regulations.

Chair Drew stated he had no issue with removing provisions related to fences in rear and side yards or plantings in rear and side yards but expressed hesitation about deleting language on alteration of docks, piers, and bulkheads.

## Motions

- Motion by Mr. McGee, seconded by Mr. McKee, to amend the earlier proposal:
  - Remove all *Site and Setting* items currently shown as minor COAs, **except**:
    - Alterations or removal of docks, piers, and bulkheads (to remain as a minor COA).
    - Installation of window air conditioning units and fans (to remain as a minor COA).

**The motion**, as restated, recommended that under the “Site and Setting” category, all items currently shown as minor COAs related to landscaping — including fences in rear yards and non-visible side yards — be removed. However, the provisions for existing bulkheads, sidewalks, and installation of window air conditioning units would remain as minor COAs.

Mr. McKee further suggested adding language to clarify that the provision also applies to the “invisible/fronts of structures.”

### **Motion carried unanimously.**

Chair Drew referenced the question of why the Yacht Basin had been excluded from the district, referencing earlier comments by Rich Bandera. Director Meehan explained that the recommendation to exclude the Yacht Basin had come from the consultant. She added that the comprehensive plan identifies the area as a “historic waterfront,” and once the plan is adopted, state-level protections would apply.

Vice Chair Bray asked when those protections would take effect, and Mo clarified that they would begin as soon as the plan is adopted. Chair Drew confirmed that some protection would be in place, to which Director Meehan responded that it would become a state rule.

Chair Drew then asked whether a public hearing would be required if the Commission wished to add the Yacht Basin to the district. Director Meehan stated that this was ultimately a legal question for the City Attorney. She added that any existing uses in the yacht basin would be allowed to continue.

Chair Bray asked about repairs or changes if properties in the yacht basin were included in the historic district. Director Meehan clarified that uses and conforming status are separate issues. Any non-conforming use would remain, but property owners would need to obtain a Certificate of Appropriateness (COA) for repairs or changes.

Vice Chair Bray followed with a hypothetical: if the Yacht Basin Eatery closed and Edgewater took its place, would the new business be allowed to look the same as it does now? Chair Drew answered that such decisions would ultimately fall to the Commission. He suggested gathering input from the City Attorney for clarity before proceeding further.

Mr. McGee posed another hypothetical, asking if a property owner decided to construct a three-level parking deck in the yacht basin, could the Commission prevent it? Mo responded that a three-level structure would likely exceed height limits and face

environmental constraints. However, she acknowledged that UDO does not explicitly prohibit such a use.

Chair Drew reviewed the statutory 180-day limit on COA approvals, explaining that while municipalities may adopt shorter deadlines, they cannot extend beyond 180 days. Ms. Tysinger explained that the 180-day provision accounts for projects with multiple phases requiring several boards, though most COAs are resolved on the day of the meeting.

Mr. McGee asked whether, by disregarding preliminary steps, the timeline could be shortened once an application is formally made. Ms. Tysinger responded that the timeframes are written to provide applicants and staff with flexibility to address every potential issue. Mr. McGee remarked that any developer's first step should be to consult with the Planning Department. Chair Drew suggested setting a 90-day timeline for minor COAs and retaining 180 days for major COAs. Director Meehan recommended consulting the attorney to confirm legality.

Mr. McKee asked what happens if the 180 days expire without resolution. Chair Drew responded that applicants could sue for failure to act.

Chair Drew suggested that COAs should be free, while Director Meehan recommended charging a fee for major COAs, noting that the cost should not necessarily be as high as for a variance but should reflect the City's workload.

Vice Chair Bray asked what other towns charge. Director Meehan provided comparisons: Wake Forest, Washington, and Edenton all charge fees, with Edenton differentiating between residential and commercial cases. She clarified that those fees do not fully cover staff or attorney time.

Vice Chair Bray suggested that the City might consider absorbing the cost rather than charging applicants. Chair Drew noted the Board of Aldermen would ultimately decide the fee policy.

Ms. Graves and Ms. Hufham both commented that ownership inside or outside the district did not necessarily matter, as older homes outside the district still carried historic significance. Ms. Graves noted that although her home lies outside the district, it is 127 years old and was still historically significant. Ms. Hufham added that she also lives outside the district but co-owns a home within it.

Mr. West shared that he had recently read an *Our State* magazine article highlighting Southport as one of North Carolina's most charming small towns, noting that each town featured had a historic district. He described such protections as "cheap insurance."

Mr. McKee stated that the Commission had made progress and that Mr. Herring's idea on easing burdens for current owners was worth exploring. He emphasized that the group was "on the right track" in preserving what Southport already has.

Vice Chair Bray agreed but cautioned against applying exemptions in perpetuity. She added that in addition to the "three P's" of preservation, the discussion had also underscored three "C's": consistency, compatibility, and contributing, principles she said were critical to guiding Southport's future, as guiding principles, much like traffic laws, to

ensure fairness and preservation.

Mr. McGee reiterated his hope that the attorneys could find a way to shorten the 180-day window to 90 days. Ms. Wesson expressed that the document was “a living, breathing document” that could be adjusted over time.

Chair Drew thanked everyone, stating his appreciation and hopes the community can see the willingness that the Commission has to work and compromise on this. He reminded the group that, like the work of the founding fathers, the document would need to be revised and refined over time.

Someone from the audience raised concern about the decision to split West Brown Street, with one side of the street included in the historic district and the other side excluded. She questioned the wisdom of the move, remarking that “it’s already getting pretty sticky as it is,” and suggested it was neither wise nor considerate. She jokingly referred to the southern side as “SOB — South of Brown.” She then asked how inclusion in the historic district would affect a dilapidated house. The Chair clarified that such matters would be handled through code enforcement, noting that property condition issues should be reported directly to that department.

## G. Adjourn

A motion to adjourn the meeting was made by Mr. West and seconded by Mr. McKee. The motion passed unanimously.

The meeting adjourned at **3:18 PM**.

X

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Charles Drew  
Chair

X

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Tori Deviney  
Deputy Clerk



**CITY OF SOUTHPORT  
HISTORIC PRESERVATION COMMISSION  
SPECIAL MEETING  
113 W MOORE ST SOUTHPORT, NC 28461  
September 3, 2025  
4:00 PM  
Minutes**

**Present Members:** Chair Charles Drew, Vice Chair Bonnie Bray, Jim McKee, Joanne Wesson, Katherine Hufham, Tal West, Josh Cline McGee

**Staff Present:** Penny Tysinger, Planning, Tori Deviney, City Clerk

**Absent:** Bonner Herring, Alexis Gore Graves

**A. Call to Order**

Chair Drew called the meeting to order at 4:00 p.m.

**B. Invocation**

Chair Drew provided the invocation

**C. Pledge of Allegiance**

Chair Drew led members in the Pledge.

**D. Swearing-In of Member**

HPC Member Alexis Gore Graves was absent.

**E. Approval of Agenda**

A motion to adopt the agenda as written was moved Mr. McKee, second Ms. Bray

The Motion carried by unanimous consent

**F. Approval of Minutes**

A motion to approve the minutes was provided by Ms. Bray, seconded by Mr. McKee

The motion carried unanimously

**G. Public Comment**

Prior to opening the floor for public comment, Chair Drew delivered a statement opposing restarting the design guidelines process. He emphasized the extensive time and effort already invested by the consultants and staff, noting that the process included multiple meetings and careful compromise. He described the work as “democracy at the local level,” stressing that the Historic Preservation Commission (HPC) had not rushed its deliberations.

Chair Drew reflected on his experience with building and safety codes, explaining that while codes may be unpopular, they exist for protection. He recounted a recent construction project where stricter hurricane code compliance was required because of proximity to Highway 17, noting the cost implications but defending the necessity of such codes. He reviewed several technical updates in the document, including:

- Addition of a grandfather clause (page 7).
- Adjustment of application time from 180 to 90 days (page 13).
- Clarifications regarding paint colors and COA categories.
- Revisions and deletions on pages 49, 50, 58, 60, and 74, such as removing gutter references and certain materials requirements.

He concluded by recommending that 50% of HPC members reside in or own property within the district, that the remainder of the Yacht Basin and cemeteries be further studied, and that the City continue to preserve and protect Southport’s historic character.

Pat Kirkman – 119 Park Ave – Stated she has resided in Southport for 29 years. She questioned where opponents had been throughout the lengthy process, as meeting minutes had been publicly available. She urged the Board of Aldermen to adopt the proposed conditions and bring the debate to a close.

Eric Lappala – 215 W. Moore St. – spoke in opposition of the Yacht Basin being included and listed his reasons; expressed concern that both residential and commercial interests and the potential for future building of structures would not be prohibited from building any structures within City regulations; emphasized the good work by the HPC.

Cheryl Daniel – 120 W. Bay St. – spoke to her 72 year residence in Southport and the changes she had witnessed; emphasized the need for public comment and asked why it was not placed at the end of the meeting to have a better understanding of the standards to make an informed decision; noted the detail included in the standard and regulations therein; she spoke to the historic character of Southport; protecting historic areas, and areas that have become eyesores; and enquired about how the Commission will address and resolve these issues.

Susan Holth – 307 E. Moore St – spoke to the length of time she had been in Southport; expressed the importance of preserving and respecting private property rights; awareness of any additional impediments to established homeowners; she shared her credentials as a contractor, and being aware of the rights of homeowners; and to unintended consequences homeowners can be faced with regarding the overlay.

Carl Ward – 231 N. Caswell Ave – spoke to a conversation with a City of Southport employee who shared the work conducted by the HPC had been completed; and expressed his dismay with the plan.

Larry Cabral – 308 W. West – spoke to the need for public acknowledgement that discerns between an HOA and the HPC; he shared that only Southport residents should have any say regarding what happens in Southport and wanted to have ensure a democratic process before citizens cast their votes.

Debbie Barnes – 425 W. West – thanked the HPC for addressing the items they have resolved; emphasized the need to address new construction, demolition, and of the like need to be considered at length; she spoke to the delineations between minor and major items to be addressed in the plan; she addressed several pages of the standard and spoke to each item she believed needed to be either added or deleted. such as gutters, sidewalks, siding removal, storm doors, and patios, arguing these create unnecessary hardship and enforcement challenges.

Kathy Cabral – 308 W. West St. – thanked the HPC for their efforts, and emphasized the need to limit the scope; spoke to item 17 regarding building codes relevant to already established property owners; the need for a historian to be on-sight to validate that each commercial or residential structure is truly historic; addressed those families on fixed incomes; hoops that one would need to jump through to purchase these homes; and expressed concern for the homeowners who already maintain and preserve the historic accuracy of the home; believes that those impacted should hold 66 2/3 majority input.

Sherol Lappala – 316 W. Brunswick St. – shared her credentials and her background as a broker for fifteen years and experience with historic preservation of properties; spoke to implementing a voluntary process for owners to maintain historic homes; her efforts to raise funding to preserve historic homes; and shared her experiences should the process be implemented and the difficulties that arise from such process such as porch renovations, the Southport Market redesign, and the Thai Peppers project.; spoke to the difficulties of meeting the accruing costs of properties; and stressed that some of the sections would prohibit the homeowner of enjoying their homes as is, as they would need to adhere to the codes outlined in the standards; and expressed the need for the HPC, but encouraged the HPC to scrutinize the details for what works best for Southport.

Chair Drew addressed Section 2.7.5 exception clause that would allow Thai Peppers to have a second story added under the rules therein outlined; he shared the last clause may be made on a case-by-case basis if there is a clear historic precedent; and spoke to Moore street for examples of two-story buildings where the owners had precedent to request a second story; he emphasized that the language be included to address these types of situations on a case-by-case basis, and the HPC had tried to include the language to assist residents.

“Southportians for Preservation of Personal Property Rights” – spoke to the 217 signatures obtained to support the HPC’s work; and emphasized that the standard outlined in the historic district overlay be voluntary guidelines only.

Seigfried DeSmedt – 319 and 310 Brunswick St. – expressed gratitude to the HPC for developing a recommendation that preserves the character and integrity of Southport; he spoke to the commitment, care, and pride the HPC had taken to consider the residents in an open and constructive dialogue; and emphasized a willingness to adopt the guidelines and not the regulations; the need to preserve property rights; and the time it had taken to reach a consensus of opinion; and asked the HPC to consider the costs to residents; he offered three recommendations for the HPC to consider:

- (1) change the HPC into an advisory board
- (2) recommend five voting members be included on said advisory board
- (3) recommend the Board of Aldermen replace the acceptable standards outlined in the overlay to be clear guidelines.

Mimi Vargo – 230 N. Caswell Ave – stated that she had been a participant from the beginning; she spoke to attending previous HPC meetings, and has submitted emails; stressed her opposition to the historic district overlay; shared that she and her husband are the owners of the Sacred Heart Church that was converted into a private residence, and enumerated the changes made to meet residential guidelines; she expressed concerns with the preservation efforts; and enumerated the issues concerning the bell tower that was later donated to the church for restoration; she asked the HPC to do the right thing in regard to the proposed historic district overlay.

City Clerk Deviney, read an email from Bonner Herring – 112 W. Bay St. – who emphasized the need to thank the HPC for the time and value placed into the historic district standards overlay; and spoke to the citizens who have spoken in opposition of the historic district initiative, and issues it created; and expressed concerns about the changes it will place on the commercial and residential structures.

David Neil – 229 N. Caswell – resides at the “Crimes of the Heart” home and laments the changes made to it as contrary to those guidelines; he shared that they had owned the home for four and half years; he shared his experiences with such

standards implemented elsewhere; and spoke to the historic house in Indiana where the conditions were subpar; he addressed the exorbitant costs to replace the windows and fixtures; and expressed concerns regarding the costs to private homeowners to maintain the historic standards.

Roberta Doshier – 210 W. Moore St. – spoke to the costs associated with maintaining the historic façade, windows, and other costs associated therein; she shared that residents have always preserved the district and have taken pride in its appearance; she implored the HPC to do the right thing.

Sandy Spencer – 410 Brunswick St. – spoke to a home that her parents had purchased in Southport years ago and is where she now resides; she expressed concerns regarding the increased property taxes; the addition of City Staff will only increase those taxes.

Linda Pukenas – 119 N. Lord St. – spoke to the democratic process implemented to ensure all residents have a say in the historic district overlay discussion; stated she was in favor of adopting the overlay as guidelines rather than its current form; emphasized that buyers will still be interested in Southport with the historic district, or guidelines in place; She shared that the proposal as written is manageable; that it was important the residents take a firm interest in the community; spoke to the notifications presented to the residents through the City website and media; noted that everyone has an opportunity to be present in these meetings to have their needs addressed.

Carl Ward – 231 N. Caswell St. – shared that he and three other people who reside in the historical district had applied to be on the HPC but were not selected.

Discussion followed concerning the application process to sit on City of Southport Boards and Committees.

Daphney Delaney – 312 Brunswick St. – spoke to the amount of work it takes to reside in the historic district; she shared that her husband had been approached to serve on the HPC, but claims that her husband had been approached about serving on the committee but was advised to participate only in an advisory capacity after expressing his views on protecting property rights; she expressed the difficulties for upkeep on historic homes.

## **H. Old Business**

### **1. Review of Updated Local Historic District Design Standards**

The following items were discussed and agreed upon for inclusion in the Commission's recommendation to the Board of Aldermen:

1. Removal of exterior lighting from the list of minor Certificates of Appropriateness (COA).
2. Driveways and sidewalks to be removed from the list of minor COAs.
3. Addition or installation of gutters to be included as a minor COA.
4. Storm windows and storm doors to be removed from the list of minor COAs.
5. Public safety issues to be reviewed by the Public Safety Department as a minor COA.

Motion made by Vice Chair Bray, seconded by Mr. West, to accept the changes recommended by Chair Drew.

Mr. McKee proposed an additional amendment to remove “demolition of non-historic additions or accessory structures” from the list of minor COAs.

The motion was amended to include Mr. McKee’s recommendation. The amended motion carried unanimously.

#### **I. Announcements**

Vice Chair Bray shared information concerning the upcoming workshop; spoke to her experience on renovating a 200-year old home, outside Southport, and the Aldermen’s ordinance regarding it; and to the opportunity to obtain the home; and encouraged residents to speak at the Board of Aldermen if in opposition to the proposed historic district; she shared that the HPC seeks to include the Yacht Basin into the Historic District; and emphasized the need for all residents to be aware of upcoming discussion concerning the approval of the standards.

Chair Drew referenced Section 2.2.11 on page 60, recommending that the final clause, “not visible from public streets or waterways,” be struck from the document. He recommended that the language be amended to read, “the use of fibers cement siding may be approved for new structures and non-historic structures. Fiber cement siding may be appropriate for additions to historic structures.”

A motion was made by Mr. McGee and seconded by Mr. McKee.

The motion passed unanimously.

Mr. West expressed disappointment that residents came to say their peace, and left before the HPC could speak to the issues presented; he shared that one of his favorite pastimes is to visit the historic district; and emphasized that he did not hear a public comment that was interested in forward planning—thinking about the future of Southport; he spoke to the history of Southport throughout the 1980s to reach a consensus on the historic district; and encouraged residents to explore the structures throughout Southport and notice the structures that emphasize

Southport's character showcasing what is to be preserved; addressed the standards set by other municipalities in regard to historic preservation; and the need to prevent financial hardships for resident concerning upkeep; and vocalized support for the inclusion of the Yacht Basin; he spoke to lifelong residents who were in favor of the standards; and emphasized the need for preservation.

Mr. McGee spoke in favor for residents to be involved in the guidelines put before the Board of Aldermen; he shared the concerns raised by residents concerning future homeowners; and expressed an architectural passion to preserve the historic district and its history.

Mr. McKee shared that he had been involved in the discussion for three years, and the conversations he has had with residents concerning the historic district; and the potentiality that the HPC can move from benign to stringent enforcement of the guidelines, but ensured resident that he does not support stringent measures to enforce the rules outline in the historic district standard; He enquired about the ability to enforce the guidelines, other than the HPC's purview to hold the demolition of properties up to 365 days.

Vice Chair Bray shared that she had discussed this with Planning Services Director Maureen Meehan, regarding the applicable powers that can be enforced for not following the rules of a building permit correctly and mirrors the powers of zoning.

Mr. McKee asked if that language should be added to the standard; emphasized that the HPC wants to delay any demolition for 365 days, and stressed that it be benign; he shared that he believed that most things ought to be guidelines; and emphasized again that the guidelines should be benign rather than stringent to allow resident to work within the standard to ensure that the historic district is preserved.

Vice Chair Bray shared that the language concerning applicable powers are included; however, zoning powers would be excluded.

Ms. Wesson reiterated the comment made by Mr. McKee and others, that everyone loves the town; and emphasized the need to preserve open dialogue.

Ms. Hufham thanked the residents for the work they had done to preserve the integrity and character of Southport; she shared the history of her family in Southport the lengths they had gone to preserve the family's house; and she welcomed and thanked all the new residents who continue to strive to keep Southport looking vitalized; She further stressed the need for future generations to continue to preserve the history and integrity of Southport.

In closing, the Chair expressed heartfelt appreciation for the community's engagement and reflected on the significance of the work accomplished. He stated

that he hopes to still be in Southport in 25 years and to see many of the same historic structures preserved. He noted that mailings regarding the proposed standards were sent twice, included in residents' water and sewer bills, to ensure the public was informed.

The Chair shared his personal connection to Southport, explaining that he was born and raised in the city, graduated from local schools, began working for the city at age 19, and comes from a family whose roots run deep in the community. Speaking about resident Cheryl Daniel's comments, he acknowledged her desire to preserve the charm of Franklin Square Park and said he shares that same wish.

Reflecting on the town's evolution, he recalled when Carr Insurance moved downtown and how that moment seemed to spark a wave of change. He also mentioned the pending demolition of Thai Peppers, noting that the building once served as Southport's post office during his childhood. He said he prays that the redevelopment of Bull Frog Corner and Thai Peppers, as well as the recently sold Lantana's building, will be done with respect for Southport's heritage.

The Chair cautioned that there would come a time when "someone isn't going to do the right thing," and emphasized that the purpose of the design standards is to prevent irreversible loss, to "freeze the facades" and protect the community's historic character. He clarified that his intent was never to silence anyone, but simply to conduct steady and orderly meetings. With humor, he referenced former Mayor's, Robert Howard and Norman Holden, remarking, "If I'm wrong about that, blame Norman and Robert," recalling Norman's advice: "Don't mess with the Yacht Basin, the trees, the cemeteries, or anybody's cat."

#### **J. New Business**

Vice Chair Bray made a motion to accept the seven recommended changes and provide them to the Board of Aldermen to review and schedule a workshop, seconded by Mr. McGee.

The motion passed unanimously.

Kurt Sheetz spoke to an ice cream shop, and one other business, moving out of Carolina Beach to Southport into the buildings Chair Drew referenced.

Mr. McGee apologized to residents for not catching everything that came through in the standard; he emphasized that they were not concerned with all the nuances included throughout; and for not reviewing it as thoroughly as it should have been.

#### **K. Announcements**

Ms. Tysinger shared that the first Wednesday in October would begin the building renovation; and they may have to move to a different location, but it would be published to social media and the city website.

**L. Adjourn**

Mr. McKee motioned to adjourn, seconded by Vice Chair Bray. Motion was carried unanimously.

Adjourned at 6:38 p.m.

X

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Charles Drew  
Chair

X

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Tori Deviney  
City Clerk



**CITY OF SOUTHPORT  
HISTORIC PRESERVATION COMMISSION  
SPECIAL MEETING  
113 W MOORE ST SOUTHPORT, NC 28461  
August 22, 2025  
4:00 PM  
Minutes**

**Present Members:** Chair Charles Drew, Vice Chair Bonnie Bray, Jim McKee, Joanne Wesson, Katherine Hufham, Tal West, Josh Cline McGee, Bonner Herring

**Staff Present:** Penny Tysinger, Historic Preservation Planner, ChyAnn Ketchum, Public Information Officer, Tori Deviney, City Clerk

**Absent:** Alexis Gore Graves

**A. Call to Order**

Chair Drew calls the meeting to order at 4:00 p.m.

**B. Invocation**

Chair Drew provided the invocation

Chair Drew brought Alternate members, Tal West and Katherine Hufham in as acting members.

**C. Pledge of Allegiance**

Chair Drew led members in the Pledge.

**E. Public Comment**

Sid Fortney - 413 E Bay St

Mr. Fortney shared concerns about the potential number of permits required under the proposed Historic Overlay, stating that after reviewing the requirements, he would personally need approximately forty permits. He emphasized that this volume

would place a significant burden on homeowners and requested clarification on which activities would require Certificates of Appropriateness (COAs)

Susan Holth – 307 E Moore St

Ms. Holth stated that she purchased her home approximately twenty years ago when it was considered a tear-down property. She explained that she invested significant funds to rebuild the house because she wanted to preserve the traditional “Southport look.” Ms. Holth expressed concern that longtime residents should not be required to conform to newly established standards, noting that under current regulations, even simple improvements such as enhancing or repainting a fence, or removing it, would require a Certificate of Appropriateness (COA). She emphasized that what is appropriate for one homeowner may not be appropriate for another and suggested that the standards should serve as general guidelines rather than enforced requirements.

Woody Wilson – 502 W Brunswick St

Mr. Wilson stated that he is a full-time resident and expressed his agreement with the previous comments. He emphasized his desire to protect the entire historic district in some capacity but voiced concern about the level of regulation on individual homeowners. Mr. Wilson explained that he and his family have invested in quality improvements to their home and always comply with city codes and permit requirements. However, he opposed being required to justify personal decisions about how they maintain or improve their property. Mr. Wilson encouraged finding a way to prevent developers from purchasing and demolishing older properties within the city.

Cheryl Daniel – 120 W Bay St

Ms. Daniel stated that she had not realized the extent of the restrictions included in the proposed document and was particularly surprised to learn that it would prohibit certain plantings, such as banana trees. She described this overreach and questioned who made such determinations. Ms. Daniel expressed appreciation for the committee’s efforts and reiterated her strong love for Southport, noting her ongoing commitment to preserving Franklin Square Park. While she stated that she supported historic preservation efforts twenty years when it was first brought up, she believes the current proposal goes too far beyond reasonable limits.

Debbie Barnes – 425 W West St

Ms. Barnes referenced the draft document, noting that on page 47, the section she reviewed “does not include low voltage” work. She stressed that clarity in language is essential to protect both homeowners and the City from potential liability, remarking, “The clearer the better.” She suggested that the term *alteration* may need to be formally defined, as it was not currently included in the document, and questioned whether minor items such as gutters should truly require COA review. Ms. Barnes encouraged the Commission to focus COA requirements primarily on *new construction* rather than existing homes, stating that this adjustment would satisfy many residents.

Kurt Sheetz – 314 E Bay St

Mr. Sheetz thanked the Historic Preservation Commission (HPC) for its time and efforts allocated to the project; he shared he had tried to hold a seat on the HPC three years ago but was unable to do so; he shared a conversation she had recently with residents who resided within the historic district that were rejected from holding seats; and spoke to a petition started that many residents had signed who were in opposition of the historic district; he spoke to the need for the City to explore a zoning ordinance that speaks to new construction; and concerns that the section of Southport selected for the historic district was the most favored of locations, and that he felt those homeowners were singled out; he suggested that permitting the City implement enforcement of structural changes rather than the HPS; he shared that he would like to see the overlay go away.

Jesse Pierce – 320 College St

Mr. Pierce shared that extent to which his house had been in his family; that it had been passed down for a long time, and expressed concern that the new historic district overlay presents issues for him; and that it would take from his family; he shared that he did not see the incentive for him or his family in proceeding with the historic district; he expressed concern for having the historic district being adopted.

Pat Kirkman – Park Ave

Ms. Kirkman expressed her confusion and frustration regarding the recent public reaction, questioning where the community had been during the past several years of work on the project. She stated that she has long been a champion of the City and appreciates the committee’s efforts and dedication. Ms. Kirkman noted that this process has been ongoing for three years, with every one of the fifty-seven meetings open to the public, properly noticed online and in the newspaper, and with minutes

always available for review. She emphasized that at no point had any member of the committee “shut their doors” to the public, and that the entire process had remained transparent and accessible. She questioned why objections were only now being raised and urged the community not to “slam the door shut” after years of open work and progress. Concluding her remarks, she referenced the saying, “If you build it, they will come,” and remarked that it remains to be seen who will come forward next.

## F. Old Business

Chair Drew asked if anyone had an inventory of properties within the district.

Mr. McKee presented Chair Drew with a copy of the 1985 inventory. that spoke to the item concerning the inventory from 1985.

Chair Drew noted that the HPC has a record for every property that has been demolished.

Chair Drew spoke to the record of properties and discussed the registry from 1980 onward and shared that it had no protections; he spoke to those properties that had already been lost from 1980 to 2005; and the need for historians to speak concisely about what had been lost and can never be replaced;

Chair Drew addressed and enumerated the additions to the standards:

Addition of language under Page 13, Section D, to state that the Commission “Shall review and act upon all applications within reasonable time not to exceed 90 days”

Addition under Routine Maintenance to clarify that the Commission does not regulate exterior paint colors.

Updates under Page 14 listing items under Certificates of Appropriateness (COA), including *Like Materials* and *Landscaping (rear yards and trees)*.

On Page 16, recommendation to remove thirteen minor COAs and adjust four major COAs, with specific deletions including:

- Under *Site and Settings*: removal of “mature trees,” terraces, and walkways.
- Complete removal of the minor COA category, where applicable.

- Clarification that installation of window units requires a minor COA only if permanently installed, and that emergency or disaster-related replacements should not require HPC review.
- Removal under *Proposed Work* of “existing decks, piers, bulkheads, and boardwalks,” as those fall under CAMA regulations.
- Deletion of “installation of foundation vents or rear elevations” and “removal of a swimming pool” as minor COAs.
- Removal of the phrase “if required by code.”

On Page 20, amendment to change the review period from 180 to 90 days.

On Page 49, Section 1.4.7, regarding standards for driveways and off-street parking, deletion of the final sentences referencing “brick, stone, or metal” and noting that “concrete or plastic edging is not appropriate.”

On Page 58, Section 2.1.5, deletion of the section addressing replacement of gutters.

On Page 60, Section 2.2.10, clarification that siding type does not matter so long as it appears consistent with what is being replaced.

On Page 61, Section 2.2.11, note that fiber cement siding may be appropriate when not visible from public streets or waterways.

On Page 74, Section 3.1.8, removal of the word “smooth” from the reference to fiber cement materials.

Chair Drew opened floor for questions

Ms. Wesson thanked residents for their comments; she spoke to the regulations other cities have adopted and how the language emulates and mirrors those.

Chair Drew shared that it was never the intent to include landscaping guidelines, such as beautification, garden club, forestry.

Ms. Wesson spoke of the palm trees that had been added throughout the city and suggested the language had begun concerning their addition.

Mr. McKee spoke to the need to state the matter clearly or else start over; he emphasized the volume that was under review, and the amount of language that had been added by consultants and not the HPC.

Mr. Herring expressed concerns that the document would not be accepted as written and stated the need to return to fundamentals for clarity of language and content; he emphasized that need to protect Porches, Siding, and other personal considerations must be included.

Mr. McKee asked that the term “Victorian” be defined.

Discussion commenced among the Committee to define the term “Victorian” settling that it was a structure built between 1860-1902.

Mr. Herring shared that everyone in the room had the same goals; the need to ensure that foreign developers would not alter the face of Southport.

Mr. McKee shared that he did not know it was in the purview of the committee of what the city can do to prevent alterations; he suggested the law be reviewed and understood.

Mr. West spoke to the policy in Beaufort SC and shared his opportunity to learn more about their historic district; He shared that Beaufort was founded in 1711, and was the seconded oldest town in SC; he drove through the historic district and emphasized the beauty he saw there; he emphasized that he wanted everyone in the audience to be extremely comfortable with what they have provided; he shared his gratitude for living in a historic district; he shared that he did not want residents to feel impeded for living the district; and emphasized that people often overlook what they have until it is lost; he expressed that everywhere should have a historic district and the neighbors should be proud.

Ms. Hufham expressed the need to have benign rules to ensure that current residents are not impeded by the rules.

Chair Drew spoke to the items regarding preserving heritage, policy and procedures, lead efforts for education, support participation in historic process; what it was they are trying to protect, tree-lined streets, water views at street ends, Franklin Square, Yacht Basin, Brunswick St, Battery Island, Indian Trail Tree; he expressed the need for action citing that the longer it is put off the more of Southport will be lost; he shared the fate of this proposal would be in the hands of the Board of Aldermen; he

emphasized that HPC had done its due diligence to present a clean proposal that took into care the consideration of all residents.

**G. Adjourn**

A motion to adjourn by Mr. West, second by Mr. Herring. The motion carried unanimously.

Adjourned at 5:10pm

X

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Charles Drew  
Chair

X

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Tori Deviney  
City Clerk

Annual Report  
of the  
Southport Historic  
Preservation Commission

October 2024-October 2025

November 5, 2025

# Annual Report of the Southport Historic Preservation Commission for the Year 2024-2025 (October 2024-October 2025)

The Commission is composed of 7 members and 2 alternates. Members of the Commission include:

Charles Drew	Bonner Herring
Rick Pukenas	Jim Mckee
Bonnie Bray, Alternate	Joanne Wesson
Josh Cline McGee	Lewis “Tal” West, Alternate
Alexis Gore Graves	Katherine Hufham, Alternate

Member, Rick Pukenas chose not to seek reappointment to another term. Alternate Bonnie Bray was appointed by the Board of Aldermen as a Regular member with her term expiring June, 2028 and Katherine Hufham was appointed as an alternate by the Board of Aldermen with her term expiring June, 2026.

Officers of the Commission:

Charles Drew, Chairman  
Rick Pukenas, Vice Chairman (until June 30, 2025)  
Bonnie Bray, Vice Chairman (from June 30, 2025)  
Maureen Meehan, Secretary

Staff Members assigned to the Commission:

Tori Deviney, Deputy City Clerk  
Penny Tysinger, Historic Preservation Planner  
Maureen Meehan, Planning Services Director

Board of Alderman Liaison:

Robert Carroll

The Southport Historic Preservation Commission continued with their work developing and preparing documents for the City to adopt a local designation report along with the local district boundary map and design standards. To date, the Commission has held over 60 public meetings taking into account the public comments received during those meetings. The Commission worked at reviewing these comments and editing the documents for the approval by the Board of Aldermen for the majority of the reporting period. The City initially contracted with Stewart Consulting to develop the inventory report, local district boundary map, and design standards. The Commission met throughout the year and assisted with the inventory, agreed to the revised local district boundary and approved the design standards. After receiving the State Historic Preservation Office's comments, the Commission took the Local district boundary map before the Planning Board at their June 19, 2025 meeting and the Planning Board recommended adoption of the overlay map designating the local historic district and forwarded their recommendation to the Board of Aldermen. The Board of Aldermen held a public hearing on the adoption of the local designation report including the overlay local district boundary map and the Design Standards at their July 10, 2025, meeting. No action was taken by the Board of Aldermen and the Commission continued to meet to discuss the comments received during the public hearing and subsequent meetings held by both the Board of Aldermen and the HPC and making suggestions to the Board of Aldermen. After numerous meetings, the Commission presented revised documents showing the edits that reflected with public comments that had been received. On October 15, 2025, a joint meeting was held by the Commission with the Board of Aldermen to answer questions the Aldermen had concerning the documents.

The Commission has received the final round of questions from the Board of Aldermen and will be reviewing the questions/edits received and formulate a response to the Board of Aldermen.

Also, during the reporting period, the Commission continued its training and received updates on proposed and adopted new state statutes as well as local ordinances. The Commission heard a presentation from the Friends of Franklin who donated a memorial plaque to the City for Franklin Square Park. The Commission thanked the group for their hard work and efforts to restore the Park and endorsed the plaque as a gift to the City. The Commission also received updates on the Old Weather Tower project and looks forward to the replica tower's installation. Members recognized Rick Pukenas, Vice Chair and thanked him for his service to the City and the HPC as one of the initial members of the Commission.

# City of Southport Historic Preservation Commission Scheduled Meetings for 2026

January 7, 2026 \*

February 4, 2026 \*

March 4, 2026 \*

April 1, 2026 \*

May 6, 2026

June 3, 2026

July 8, 2026

August 5, 2026

September 2, 2026

October 7, 2026

November 4, 2026

December 2, 2026

Meetings are scheduled for the 1st Wednesday of the month with the exception of July. Meetings are held at the Indian Trail Meeting Hall, 113 West Moore Street, Southport, NC at 4:00 PM. Please note dates with \*, these meetings (January -April) will be held at the Fire Department Headquarters/EOC Room due to construction at the Indian Trail Meeting Hall.

Deadline for Completed Applications/Submittals for Meetings is 8:30 am 30 days prior to scheduled meeting. Submittals are turned into the Historic Preservation Planner



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**MEMORANDUM**

**TO:** Charles Drew, Chairman and Members of the Historic Preservation Commission  
**FROM:** Maureen Meehan, Planning Director  
**RE:** Aldermen Questions on the Proposed Design Standards  
**DATE:** October, 31, 2025

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At the conclusion of the workshop held with the Board of Aldermen on October 15, 2025, the Aldermen agreed to submit their remaining questions concerning the proposed design standards to the Historic Preservation Commission (HPC) for their response at the Commission's next regularly scheduled meeting. Attached are the comments that were received. Please review these comments and come prepared to formulate a response to these questions. If you have any questions prior to the meeting, please feel free to contact me.

**From:** [Rebecca Kelley](#)  
**To:** [Tori Deviney](#)  
**Subject:** [EXTERNAL] Summary of Citizen Feedback and Recommended Considerations – Historic Overlay & Design Standards  
**Date:** Thursday, October 30, 2025 1:56:03 PM

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Team,

I wanted to share a summary of questions and recommendations I received from concerned citizens following our joint workshop. The comments reflect a genuine desire to support preservation while also ensuring clarity, fairness, and inclusivity in implementation. Several points are worth the Commission's consideration as we move forward:

## **1. Administrative Feasibility & Property Inventories**

The current draft states that compliance "begins on the date of adoption." While conceptually sound, we don't yet have verified data on existing exterior materials, features, and mechanical systems.

**Recommendation:** Before adoption, provide property owners their current inventory sheets with an explanation of why updates are needed. Allow 30–60 days for owners to correct construction/renovation dates and note existing materials or historic details. This step would strengthen the city's records and help prevent disputes over what predates the standards.

## **2. Boundary Inclusivity & Equity**

The proposed overlay currently excludes some historically significant areas north of St. George Street—many tied to Southport's African-American heritage—and the Yacht Basin district.

**Recommendation:** Re-evaluate the boundaries to ensure all historic and culturally important sites, including African-American landmarks and the Yacht Basin, are represented and protected.

## **3. Applicability to Churches & City Buildings**

Clarify whether city-owned and church properties within the district are required to obtain Certificates of Appropriateness (COAs). Consistency in application will prevent confusion.

## **4. Landscaping Oversight**

The draft still includes language about landscaping and natural features being subject to HPC review.

**Recommendation:** Confirm whether all landscaping provisions were

intended for removal, and update accordingly.

## 5. Quasi-Judicial Process & Transparency

Questions remain about subjectivity, appeals, and enforcement.

### **Recommendations:**

- Include the appeal process for property owners.
- Outline penalties for non-conformance.
- Clarify whether the 90-day COA review limit includes public hearings, and consider an “automatic approval” clause if the HPC fails to act within that window.

## 6. Minor COA Adjustments

- **Eliminate:** Temporary medical-related exterior alterations already regulated by building permits.
- **Relocate:** The “six-month renewal” COA fits better under the main COA process section.

## 7. Visibility from Public View

Many historic properties are fully visible due to Southport’s original layout. Language referencing “visible from the road” or “not seen from public view” unintentionally penalizes these owners.

**Recommendation:** Either remove these phrases or add a statement clarifying that highly visible properties will work collaboratively with HPC to find fair solutions.

## 8. Communication Improvements

Past reliance on utility bill inserts for notices proved ineffective.

**Recommendation:** Implement more direct and reliable outreach—such as individual mailings—and maintain a record of communication dates, distribution methods, and responsible departments for accountability.

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### **Closing Thought**

The intent of this feedback isn’t to slow progress but to ensure the Historic Overlay is inclusive, equitable, and practically enforceable. Taking time to address these administrative and communication details now will ultimately strengthen public confidence and long-term compliance. Alternatively, I would love to see some other option that would allow us to enforce only for new construction or major renovations...perhaps in the UDO?

Respectfully submitted,  
**Rebecca Kelley**

--

Rebecca

Rebecca Kelley

Cell: 910.443.0371

[rebeccanckelley@gmail.com](mailto:rebeccanckelley@gmail.com)

[www.linkedin.com/in/rebeccanckelley/](http://www.linkedin.com/in/rebeccanckelley/)

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Noah,

Here are my questions and recommendations as requested of Aldermen for the HPC.

In the Forward it states :”The intent of these design standards is to:

1. Provide guidance to assist...”

I think it would be more accurate to say, “Provide rules and standards to assist...”

In the Goals of the Historic Preservation Commission, Goal 2 states, “The City of Southport Historic Preservation Commission shall establish policies and procedures...”

Question: What is the process for recommended new policy and procedures by the HPC? Do the policies go to Federal and/or State and then to aldermen for approval? As a Quasi Judicial Board, once the Standards are approved, who provides oversight of the Historic Preservation Commission? This type of information should be explained in the design standards document.

In the Levels of Review section, can we implement a max response time limit for the HPC to finalize the pre application, i.e. 14 days?

How will the City or HPC inform different contractors such as electricians, plumbers, builders, roofers, etc., the requirements for all the Southport Local Design Standards? (for example, requirements in the Disaster Preparedness and Prevention section)

Will the City or HPC ensure through COA process that all contractors are knowledgeable, competent and will adhere to Southport Local Design Standards?

What are the costs to the city to administer these regulations and how will it be paid for if obtaining a COA does not require a fee?

How will the HOC criteria impact future City tax base due to HOC requirements?

Please do a before and after report of tax base amounts for each new home construction and renovations in historic area over last five years. If possible, it would also be important to know if the changes would have been allowed based on the proposed Historic District Standards.

There are many restrictions that deal with historic material on historic homes and should not be expected or required of non contributing or new construction homes. Please add statement “for contributing homes only” throughout document for these type of statements. For example, 2.5.5 “Covering a porch with non-historic material such as vinyl or metal siding, or winterizing a screened porch by permanently attaching plastic sheeting is not permitted.”

Concern: Roof, siding, windows and masonry repair or replacement of existing materials can be very expensive for homeowners. Preservation & protection of home should allow for new materials or technologies. Please provide a general statement that the HPC will work as needed with homeowners to allow for new materials and technologies to ensure homes do not fall into a state of disrepair or are not irreparably frozen in time.

Standards for storefronts 2.7.5 “Retain original roof forms and features. Do not add additional stories, penthouse, roof decks, skylights, mechanical equipment or any other features that can be seen from the sidewalk, right-of-way or any public rear access walkway. Exceptions may be made on a case-by-case basis if there is a clear historic precedent.”

This standard does not allow for stores and restaurants to grow as needed and it can impact City’s future viability. Exceptions can be based on congruity not historic precedent.

Thanks,

Marc Spencer

## Updated language for consideration:

Change - **Yellow**      Remove - **Green**

Page 12

### Certificate of Appropriateness

Probably the most frequently asked question of the HPC is “When do I need a Certificate of Appropriateness (COA)?” The COA is a permit that a property owner receives indicating that a proposed change or action has been reviewed and approved by the HPC for congruity with the special character of the historic district or landmark and for consistency with the historic district regulations. A COA is required for any exterior change planned for a local historic landmark or building within the local historic district (See Map on page 37). Exterior changes are defined as any alteration including but not limited to the architectural style, general design, general arrangements of buildings or structures on the site, size and scale of the buildings or structures, building materials, types and styles of windows, doors, **lights**, signs, and other fixtures. **Landscaping and changes to natural features such as trees, creeks, creek banks and riverbanks are also subject to HPC review.** As a part of the COA review process, the HPC shall consider the preservation of the character and integrity of the City and its historic districts and individual landmarks. To verify that the proposed action requires a COA, call the City’s Preservation Planner at 910-457-7900.

### Routine Maintenance Actions (COA Not Required)

Property owners should be aware of certain actions that are considered “routine maintenance” or are otherwise not subject to HPC review and thus do not require a COA. These items include:

- a. Repair or change of color of painted surfaces;
- b. Seasonal decorations;
- c. Moveable playground equipment;
- d. Temporary real estate “open-house” or “yard sale” signs placed and removed on that day;
- e. Addition to, installation of, or replacing gutters or downspouts with like materials, construction, and matching trim colors as long as significant architectural features are not removed or obscured;
- f. Landscaping;
- g. Removal or planting of trees (City Tree Protection Permit process still applies) in rear and non-visible yards;
- h. Removal of diseased or dead trees in any location;
- i. Fence installation/removal in the rear and non-visible side yards;
- j. Installation/removal of mechanical equipment in the rear and non-visible side yards;
- k. Alteration/installation of exterior lighting;
- l. Alteration/removal of sidewalks, parking lots, and/or driveways;
- m. Temporary emergency roof tarps, window air conditioning units, fans, or portable generators;
- n. Installation of foundation vents on non-visible on the rear or non-visible side yards;
- o. Alteration/installation/removal of storm windows or doors;
- p. Alteration/removal of existing shutters on rear or non-visible side yards;
- q. Alteration/addition/construction/removal of swimming pools;
- r. Demolition of a non-historic addition or accessory structure;
- s. Construction of a new accessory structure less than 144 square feet;
- t. Maintenance and emergency restoration of existing above ground utilities;
- u. Public safety issues.

## City of Southport Local Historic District Review

All exterior work and new construction to a locally designated landmark or property within the City of Southport's Local Historic District requires a COA, regardless of whether or not a building permit is required.

The following table provides examples of projects and COA requirements. For any projects not listed below please contact the Preservation Planner for more information.

Proposed Work	Minor COA	Major COA	Comments
Routine Maintenance does not require a COA			
Site and Setting			
Changes to significant site features		X	
Alteration, construction/removal of stone or brick terraces, water features, berms, and ground moving activities	X	X	UDO Stormwater Ordinance applies.
Alteration/construction/removal of fences or walls on front or side visible elevations		X	See "Fences" section
Removal of terraces, and walkways		X	City Tree Protection and Landscape Preservation permit process still applies.

In the Routine Maintenance Comment box add: **See page 14**

Change to a **Minor COA** - Alteration, construction/removal of stone or brick terraces, water features, berms, and ground moving activities

Delete - **Removal of terraces and walkways**

## Page 21

10. In determining whether the work proposed in the application would be congruous with the special character of the district, or in certain cases, designated landmarks outside the district, the HPC commission will consider the items generally and specifically set forth in these standards including the following principles: **i. a.** The special character of the district is primarily defined by the following elements: **i.** Architectural styles, sizes, scales, height and proportions of historical Southport buildings and other structures. **ii. Vistas of the Historic District should be maintained. These include seascapes, landscapes, and streetscapes.**

## Page 44

1.1.1. Identify **and if possible**, preserve and maintain historic public and private landscapes that contribute to the character of the historic district, including open spaces, streetscapes, and yards.

1.1.2. Identify **and if possible**, preserve, and maintain the individual components and historic features that contribute to Southport's historic character, including: mature trees, ornamental trees, and hedge rows.

1.1.3. Preserve and maintain mature canopy trees **if possible**. Planting of non-native ...

## Page 45

1.1.6 New walkways **shall should** not exceed a width of four (4) feet and shall not be built past public sidewalks where they exist. No hardened structures are allowed within the public right of way. (ROW permits are required for any allowable encroachments.)

**1.1.7. Contemporary edging or border materials, such as exposed landscape timbers, railroad ties, pre-cast concrete, plastic, or other substitute material borders are not appropriate in areas seen from the public view.**

1.1.8. Historic sidewalks and other paving materials should be preserved and maintained. **When possible new** sidewalks **shall should** be compatible in material, detailing, color and finish to existing historic sidewalks.

## Page 49

# Driveways and Off-Street Parking

Many homes in the local historic district do not have driveways, most residents utilize on-street parking. However, where driveways and parking lots exist maintenance and repair can be achieved through monitoring to identify settling and cracking of these surfaces. When necessary, selective, or full, in-kind replacement of paving materials **should must** follow the [Masonry Standards](#) **if possible**.

1.4.4. **When possible, avoid** removing trees and other landscape elements that contribute to the historic character of a site.

## Page 52

**1.6.2. Built in features such as pavilions, gazebos, screened rooms, or other types of roofed structures such as boat sheds are not appropriate.**

1.6.4. **When possible, repair** docks, piers, and boardwalks and their details and features, using accepted preservation methods.

## Page 58

2.1.2. Preserve, maintain, and repair historic roofing details and materials such as slate, standing seam metal, and tile **when possible**. Replace in-kind only if necessary due to deterioration or damage. Replace only the damaged or deteriorated portion using materials identical necessary, identical to the original if possible.

2.1.3. New roofing materials should be compatible with either the existing or original roofing material. Match the historic material as closely as possible in color, shape, size, and texture. Asphalt, fiberglass-asphalt shingles, and metal roofs are acceptable. Any distinctive patterns of shingles or slates shall be retained and/ or replicated **exactly when possible**.

## Page 59

2.1.10. Avoid constructing additional stories resulting in an altered appearance **that is incongruous with the Historic District**.

## Page 61

**2.2.6. It is inappropriate to strip paint with the object of staining it or leaving it unfinished for a supposedly "natural" appearance when such an appearance cannot be historically documented.**

## Page 62

2.3.1. Retain and preserve historic brick and masonry elements, including walls, chimneys, foundations, and retaining walls. **When possible, preserve masonry** elements that are character-defining features of the building or property.

## Page 63

**2.4.5. Tinted glass is not appropriate in the historic district in any area visible from public view. Energy-saving or "low-E" glass may be used only if it is not tinted.**

## Page 64

2.4.7 Preserve and repair original or historic **shutters if possible**. It is appropriate to add **louvered** shutters to a historic structure if there is evidence that it once had **shutters blinds** or the addition of **shutters is congruous with the historic character of the structure**. All shutters shall be installed so that they will fit the window frame opening if closed and shall be of correct proportions for each window. Blinds shall be provided with operable hardware, consisting of hinges, pintles, and holdbacks located in the appropriate positions.

Shutters may be operable or fixed. Shutters made of synthetic or substitute materials, that duplicate the look, appearance and patina of wood may be allowed. They should not be nailed or screwed onto the building surface.

## Page 64 (cont.)

2.4.9. Avoid the placement of metal awnings over windows and doors. Fabric awnings may be used **if the house originally or historically had them**. Install awnings in such a manner that they do not conceal architectural features or damage historic building fabric. Choose colors and patterns that harmonize with the building and do not compete with it.

## Page 65 & 66

2.5.9. It is not appropriate to add new porches, entrances, or balconies to primary elevations or other areas of a building that are seen from the public view if none existed historically. **Exceptions may be considered.** Applicants shall demonstrate to the HPC that an addition with different height, scale, size and massing from the existing structure is congruous with the Historic District.

**2.5.10. Collapsible gates on porches to restrain pets or young children are reviewed by the HPC on a case-by-case basis and should be truly temporary and removable. Permanent gates are reviewed by the HPC. Gates of any kind at the foot of porch steps create an unnecessary visual barrier and are not appropriate.**

## Page 67

2.6.7. It is inappropriate to paint existing, unpainted historic foundations. A previously painted foundation should continue to be painted to avoid damaging the masonry. See Section 2.3. Standards for Masonry for maintenance recommendations for unpainted and painted masonry.

## Page 70

2.9.2. **If possible, locate roof ventilators**, antennas, solar panels, and satellite dishes in areas not visible from public view. Satellite dishes exceeding 24" in diameter shall not be installed in the historic district.

2.9.3. **If possible, paint** meter boxes, vents, and other utility fixtures visible from the street in colors that will allow them to blend in with the historic/existing building.

## Page 74

3.1.2. It is appropriate to consider height, scale, size and massing of the additions to ensure it is compatible with the existing structure and does not overpower it visually. **A new addition should never be taller or wider than the original structure. Observe the principle of "additive massing" where the original structure remains dominant, and the additions are adjoining and smaller masses.** Generally, observe the principle of "additive massing" where the original structure remains dominant, and the additions are adjoining and smaller masses however, exceptions may be considered. Applicants shall demonstrate to the HPC that an addition with different height, scale, size and massing from the existing structure is congruous with the Historic District.

## Page 74 (cont.)

3.1.4. If possible, additions should be constructed so that they can be removed from the original building in the future without irreversible damage to significant features.

## Page 75

3.1.13. It is not appropriate to site additions that require the removal of mature trees or plantings.

## Page 77

3.2.7. If a contributing building was demolished or moved from the site, design the replacement building to be of similar height, scale, massing, and location as the previously existing building. Applicants will have a heavy burden to shall demonstrate to the HPC that a replacement structure with different height, scale, and massing as the previously existing building is congruous with the Historic District.

## Page 79

3.3.8. If alternatives exist, it is not appropriate to site additions that require the removal of mature trees or plantings. Mature trees and plantings should be protected during the construction phase.

## Page 84

4.1.1. Choose relocation only as a last resort to demolition. Property owners that want to relocate a contributing building should design the replacement building to reflect the relocated building's height, scale, massing, and location. Applicants will have a heavy burden to shall demonstrate to the HPC that a replacement building with different height, scale, massing, and location as the previously existing building is congruous with the historic district.

## Page 86

4.2.1. Choose demolition only as a last resort. Property owners of contributing buildings should design the replacement building to reflect the demolished building's height, scale, massing, and location. Applicants will have a heavy burden to shall demonstrate to the HPC that a replacement building with different height, scale, massing as the previously existing building is congruous with the Historic District.

I am in favor of a plan to ensure that the historical nature and beauty of Southport is protected. However, the Board of Aldermen (BoA) have a fiduciary responsibility to protect the city from taking positions that would be in violation of NC law or lead to other civil penalties.

As such, I am submitting the following to you, the HPC members, to seek solutions to the following hurdles, which are substantial, and most must be addressed before the passage of a document with a low risk of civil action against the city.

**1)** There is an identified statute in the Historic Preservation Committee's (HPC) presentation that reads in part; "However, regardless of the determination of significance the HPC can delay demolition of up to a year (365 days) to allow for a full study of potential alternatives." In layman's terms that means any landowner in the district can merely wait 365 days from the day of rejection and then can demolish the structure. **Question;** Does this not defeat the strategic goal of the proposed legislation?

**2) Question;** Does Statute SB 282 that eliminates downzoning supersede the older historic preservation statute?

**3)** The current language states that once passed, any residential unit within the district boundaries are subject to all the building standards, no matter the age of the structure. **Question;** Is there a work around? This has come to be part of the rallying cry against this project.

**4) Question;** Should the BoA take into consideration during their deliberations, the fact that over 200 lot owners out of 253 total lots have requested this legislation not be passed? That is over 80 % of the total.

**5) Question;** Should the BoA take into consideration during their deliberations, the fact that several lot owners have expressed their willingness to take the city to civil court?

**6) Question;** Should the Board of Aldermen take into consideration during their deliberations that a growing number of lot owners have stated they will seek de-annexation of a large section of the historic downtown?

**7)** Could this whole concept be boiled down to something on the order of, any residence within the Historic District that demolishes, or reconstructs 50% of the

structure must comply with the standards. I know this would still not address adding a second or third story, even if those additions were in the same style as the original structure. Bottom line is, I am pondering if the proposal as submitted goes too far. I come back to that basic principle that if 80% of the impacted tax payers are saying “no”, regardless of how many meetings there were, or of all the hard work that has gone into this idea, here and now, there is little support for this project.

Respectfully,

Rich

**QUICK GUIDE  
FOR THE  
CITY OF SOUTHPORT  
LOCAL DISTRICT DESIGN  
GUIDELINES**

**DRAFT**

**DECEMBER 3, 2025**



This document shall serve as a quick guide to the proposed draft design standards and the levels of review for routine maintenance and Certificate of Appropriateness for minor and major works. This document is intended to be used for review purposes only. Users should refer to the entire document entitled Southport Local Historic District Design Standards 2025 for guidance concerning the local district.





## Levels of Review

Exterior changes to properties in the Southport Local Historic District are divided into two categories: Minor Works and Major Works. The following pages and table outline the types of work that fall into each category. It is always best to contact the City's Preservation Planner early in planning stages in determining which level of review is required for the project.

### Routine Maintenance Actions (COA Not Required)

Property owners should be aware of certain actions that are considered "routine maintenance" or are otherwise not subject to HPC review and thus do not require a COA. These items include:

- a. Repair or change of color of painted surfaces;
- b. Seasonal decorations;
- c. Moveable playground equipment;
- d. Temporary real estate "open-house" or "yard sale" signs placed and removed on that day;
- e. Addition to, installation of, or replacing gutters or downspouts with like materials, construction, and matching trim colors as long as significant architectural features are not removed or obscured;
- f. Landscaping;
- g. Removal or planting of trees in rear and non-visible yards;
- h. Removal of diseased or dead trees in any location;
- i. Fence installation/removal in the rear and non-visible side yards;
- j. Installation/removal of mechanical equipment in the rear and non-visible side yards;
- k. Alteration/installation of exterior lighting;
- l. Alteration/removal of sidewalks, parking lots, and/or driveways;
- m. Temporary emergency roof tarps, window air conditioning units, fans, or portable generators;
- n. Installation of foundation vents on non-visible on the rear or non-visible side yards;
- o. Alteration/installation/removal of storm windows or doors;
- p. Alteration/removal of existing shutters on rear or non-visible side yards;
- q. Alteration/addition/construction/removal of swimming pools;
- r. Demolition of a non-historic addition or accessory structure;
- s. Construction of a new accessory structure less than 144 square feet;
- t. Maintenance and emergency restoration of existing above ground utilities;
- u. Public safety issues.

### Pre-Application Process

For all but the smallest project, a property owner is strongly urged to take advantage of the HPC's pre-application process. This process, involving informal consultation with City staff can save time, money, and headaches during the rest of the COA application process. It allows owners/applicants to present conceptual ideas, to discuss different alternatives, and to receive



helpful guidance and comments. An applicant may request an informal meeting with Staff to become familiar with the Southport Historic Design Standards.

It is important to realize that completion of the pre-application process does not guarantee approval of the COA application by the full HPC, or that the COA application will not be modified. The HPC renders its decision on an application after careful consideration, hearing of evidence from other Southport residents or expert witnesses, and discussion among its members, all accomplished at the regularly scheduled HPC hearings.

## Minor Works

Minor works include a limited in-kind replacement of materials or features as well as relatively minor alterations that do not significantly impact the special character of the property. These minor alterations require administrative staff review therefore expediting the process. A COA application is still required and the proposed work must meet the Design Standards outlined in this document to ensure the proposed work is not incongruous with the special character of the district. Complete applications are reviewed in the order they are received and may take up to two weeks.

If the Preservation Planner finds that the proposed work does not meet the Design Standards, the applicant may revise the application or the application can be reviewed by the HPC. No application may be denied without the formal action by the Historic Preservation Commission.

## Major Works

Major works are substantial alterations to a building or site that have the potential to alter or damage the historic character and integrity of the building, adjacent buildings and sites, and the associated historic district. A COA application is required and the proposed work must meet the Design Standards to ensure the proposed work is not incongruous with the special character of the district. Applications for **Major Works** are reviewed by the full Historic Preservation Commission at their regularly scheduled monthly meetings.

The Planning staff reviews the applications to ensure their completeness, schedules the application to be heard at the appropriate Commission meeting, and provides mailed notification and posted notification about the public meeting.



## City of Southport Local Historic District Review

All exterior work and new construction to a locally designated landmark or property within the City of Southport's Local Historic District requires a COA, regardless of whether or not a building permit is required.

The following table provides examples of projects and COA requirements. For any projects not listed below please contact the Preservation Planner for more information.

Proposed Work	Minor COA	Major COA	Comments
Routine Maintenance does not require a COA			
<b>Site and Setting</b>			
Changes to significant site features		X	
Alteration, construction/removal of stone or brick terraces, water features, berms, and ground moving activities		X	
Alteration/construction/removal of fences or walls on front or side visible elevations		X	See "Fences" section
Removal of terraces, and walkways		X	City Tree Protection and Landscape Preservation permit process still applies.



Proposed Work	Minor COA	Major COA	Comments
Installation of mechanical equipment, including roof vents, exterior air condition unit(s), furnace(s), generator(s), TV antenna, and satellite dish on front or visible side elevation		X	See "Outside Utilities" section
Installation of window air conditioning units and window fans	X		Permanent Installations Only
Alteration/removal of signs	X		See "Signage" section
Installation of signs		X	
Addition to/installation of sidewalks, parking lots, and/or driveways		X	See "Off-Street Parking" section
<b>Exterior Changes</b>			
Alteration of roof materials and/or form(s)		X	See "Roofs" section
Alteration/construction/removal of service/utility chimneys	X		
Alteration/construction/removal of character defining chimneys		X	
Alterations to foundations or building walls		X	See "Foundations" section



Proposed Work	Minor COA	Major COA	Comments
Removal of non-historic siding materials when the original siding remains beneath and is restored (if more than 25% of original material must be removed or replaced, HPC review is required)	X		
Alteration/removal of existing windows, sash, window opening, or trim on		X	
Installation of new windows on front and visible side elevations		X	
Alteration/removal/installation of door(s)/door openings/trim		X	
Alteration/construction/addition or removal of porches		X	
Installation of new porch railing	X		
Alteration/construction/removal of storefront materials or design		X	See "Historic Storefront" section
Alteration/construction/removal of temporary features that are necessary for medical conditions, but do not permanently alter exterior features	X		See "Accessibility and Life Safety" section
Construction/installation of permanent ramps and features structurally attached to the building		X	
<b>New Construction &amp; Additions</b>			
Addition to a primary structure		X	
Alteration/construction of/ addition or removal of patios	X		
Construction of a new primary structure		X	



Proposed Work	Minor COA	Major COA	Comments
Construction of a new accessory structure exceeding 144 square feet		X	
<b>Relocation &amp; Demolition</b>			
Relocation of a structure		X	See "Relocation of Buildings" section
Demolition of a structure or building		X	See "Demolition" section
<b>Disaster Preparedness &amp; Prevention</b>			
Elevating structure or building		X	
<b>Other</b>			
Six-month renewal of Certificate of Appropriateness previously granted, ONLY if work has been started but not completed within the one-year validation period	X		
<b>Items not Regulated</b>			
Routine maintenance			
Mailboxes			
Seasonal lighting, decorations, & plantings			
Little free libraries			
Security cameras			



## Site Features and Plantings

Southport's historic districts are enhanced by several site features, including both natural and manmade. Natural features including scenic views of the Cape Fear River, live and water oaks, other tree species, plantings, and salt marshes. Manmade features include historic sign markers, walls, fences, gardens, street furniture, street lighting, and monuments. Additional features that define circulation in Southport's historic districts include streets, walkways, alleys, driveways, and parking areas. Another character defining features in the Southport Local Historic District are its views and vistas.

The retention of trees and the local districts views and vistas are essential to maintaining the character of the local district. Many of the trees in the local district are over two hundred years old and may be in danger of damage from storms, etc. In order to maintain the tree canopy,

it is vital to continue planting new trees that will maintain and perpetuate the canopy. The City of Southport is dedicated to maintaining trees in its rights-of-way and formed a Forestry Committee that plants young live oaks on an annual basis.

Both natural and manmade features should be preserved to maintain Southport's unique character. Private property owners are encouraged to replace trees when they are removed from their property to help preserve the tree canopy. The City Tree Protection and Landscape Preservation permit process also applies for the removal of any trees. Contact City planning staff for assistance.

### 1.1. Standards for Site Features and Plantings

- 1.1.1. Identify, preserve and maintain historic public and private landscapes that contribute to the character of the historic district, including open spaces, streetscapes, and yards.
- 1.1.2. Identify, preserve, and maintain the individual components and historic features that contribute to Southport's historic character, including: mature trees, ornamental trees, and hedge rows.
- 1.1.3. Preserve and maintain mature canopy trees. Planting of non-native



*The City of Southport is home to many mature live oaks and usable public spaces with scenic views of Battery Island,*

*the Cape Fear River, and much more.*





trees not historically associated with Southport, such as banana trees, is discouraged. Planting of native palm trees listed in the Unified Development Ordinance, including sabal palmetto, sabal minor, and needle palm, is permitted. Any use of non-native plant materials not historically associated with Southport that can be viewed from public property should be limited to a minor complementary presence. Replanting of any native tree damaged by storm activity or other natural factors is encouraged. As property size permits, planting of a variety of native trees and shrubs is encouraged. As property size permits, planting of native understory trees should be undertaken in concert with planting of native overstory trees, such as live oak trees.



- 1.1.4. Maintain the relationship between the mass/proportion of the building and open space within the context of the streetscape for new construction, additions and landscape.
- 1.1.5. New construction and additions should be sited in locations that will not require the removal of mature plantings, if possible.
- 1.1.6. New walkways shall not exceed a width of four (4) feet and shall not be built past public sidewalks where they exist. No hardened structures are allowed within the public right of way. (ROW permits are required for any allowable encroachments.)
- 1.1.7. Contemporary edging or border materials, such as exposed landscape timbers, railroad ties, pre-cast concrete, plastic, or other substitute material borders are not appropriate in areas seen from the public view.
- 1.1.8. Historic sidewalks and other paving materials should be preserved and maintained. New sidewalks shall be compatible in material, detailing, color and finish to existing historic sidewalks.
- 1.1.9. Utility wires, including power, telephone and cable should be placed underground whenever substantial utility construction takes place. Above ground utility boxes, fixtures, and equipment should be in inconspicuous locations and should be screened from view.
- 1.1.10. New tool sheds, swimming pools and other modern yard features should be located in areas screened from public view.
- 1.1.11. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, screening should not exceed height of four (4) feet at the street/sidewalk edge.



See Off-Street Parking Standards.



## Fences and Walls

There are a variety of fences and walls in Southport's local district. Fences and walls were used to delineate property boundaries and/or alleviate topographical changes. The material selection often relates to the architectural style and time period of the building. The regularity of low front yard fences and walls make them significant site features within the district. Traditional fence materials include wood, cast iron, wrought iron, stone, brick, or concrete.

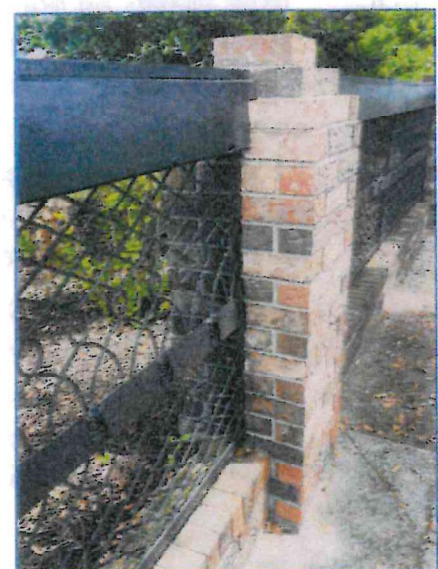
Walls are typically much lower than fences but can be used to delineate property boundaries or retain a sloped yard and are constructed with stone, brick, or concrete. Front, side-, and rear-yard fences are typically constructed from wood or iron. Landscaping such as shrubs or hedgerows can also be used to delineate property boundaries or screen mechanical equipment or other features.

### 1.2. Standards for Fences and Walls

- 1.2.1. Identify, retain and preserve historic fence and wall material wherever possible. If replacement is necessary, use new material that matches the historic material in composition, size, shape, color, pattern and texture.
- 1.2.2. Design new fences that are compatible with the associated building, site and streetscape in height, proportion, scale, color, texture, material and design. Substitute fence materials are not appropriate along front or visible side property lines in the historic district. Fence types such as wire, hurricane, chain-link, vinyl, corrugated metal, stockade, and wooden post and rail are not appropriate in public view.



*Fences in Southport consist of a variety of materials, including brick, iron, concrete, and wood. See above for brick example and below for brick and iron example.*





- 1.2.3. Fences shall not exceed a height of four (4) feet in front yards and other areas of primary visual concern. Fences at rear yards and other areas not readily seen from the public view may be up to eight (8) feet high. The transition between low front fences and higher rear fences should be made as far to the rear of the enclosed structure or yard as possible. Avoid attaching a portion of the fence to a building because of possible termite damage.
- 1.2.4. Historic retaining walls should be preserved. New low walls are appropriate only where a sharp change in grade exists and shall not exceed a height of two (2) feet. Such walls should be constructed of brick or concrete block covered with a true sand-finish stucco.
- 1.2.5. The use of false historical details or other non-original architectural embellishments on existing fences is not appropriate.
- 1.2.6. Use a combination of fences and plantings to screen parking lots. To provide adequate visibility for drivers entering and leaving, the fence should not exceed a height of four (4) feet at the street/sidewalk edge.
- 1.2.7. Contemporary or utilitarian fence materials are not appropriate for fences in the public view. Inappropriate materials include: plastic, vinyl, chain link, wire, and all other modern materials. The use of modern fencing is permitted for rear yards only, in areas not seen from the public view, using vinyl-coated chain link (dark green or black), standard chain link or heavy wire ("hog wire"). Use plantings such as ivy, climbing roses, jasmines, or other vines to hide wire fences.

Properties on corner lots have two primary elevations.

See Off-Street Parking Standards.



*This wooden fence delineates the property boundary and is low in height.*



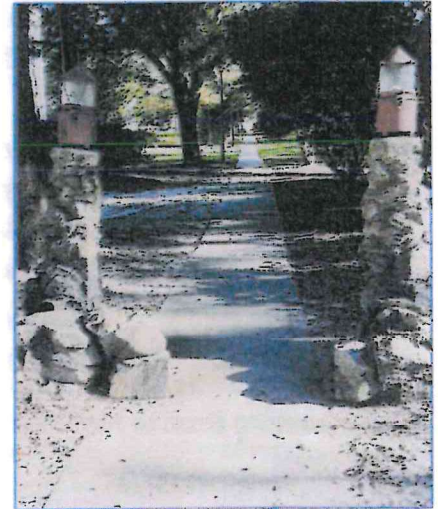
## Exterior Lighting

Electricity arrived in Southport in early 20th century. Today, lighting is used to illuminate streets, walkways, porches, signs, and buildings. Porch and building lights should reflect the style, scale, size, and detail the special character of the building. Pedestrian level street lighting was added to S Howe Street. Any additional lighting on adjacent streets or in continuation on N Howe Street should be consistent with the existing lighting.

Historic light fixtures should be retained where they exist, however wiring should meet current building codes. When selecting new light fixtures consider the scale and style of the house and yard. When installing light fixtures in multiple locations, the scale, color, and style must be consistent. The use of energy efficient bulbs is encouraged, but bulbs must emit a soft, warm light that replicates incandescent bulbs.

### 1.3. Standards for Exterior Lighting

- 1.3.1. Unless original fixtures already exist, choose fixtures that are simple and unobtrusive and complement the building or site.
- 1.3.2. Choose lighting sources that generate a "warm" color similar to that of traditional incandescent lighting.
- 1.3.3. Avoid placing fixtures in areas that will obscure or damage character-defining architectural elements or site features.
- 1.3.4. Use ground-mounted spots or ornamental light fixtures to illuminate signs instead of internal lighting. Screen spots and accent lighting from view.
- 1.3.5. All lighting should be directed toward the property for which it was intended and should not spill over onto adjacent properties.



*These pier mounted lamps are stylistically appropriate for stone piers. The cottage style pendant is appropriate for many of Southport's cottage style homes.*

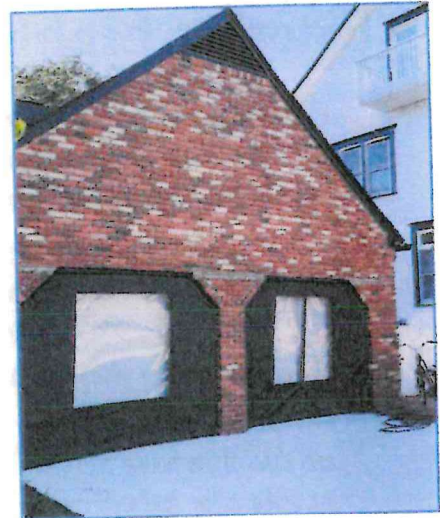




## Driveways and Off-Street Parking

Many homes in the local historic district do not have driveways, most residents utilize on-street parking. However, where driveways and parking lots exist maintenance and repair can be achieved through monitoring to identify settling and cracking of these surfaces. When necessary, selective, or full, in-kind replacement of paving materials must follow the [Masonry Standards](#).

The introduction of new parking and driveways, as well as the modification of existing ones must be carefully considered to ensure siting, spacing, configuration, width, and paving materials are compatible with other historic properties within the local historic district. New driveways and off-street parking should be located and constructed in a such a way that minimizes the visual impact on the district. The amount of impervious surfaces should be limited when possible and landscape screening should be incorporated to minimize visual impacts for larger parking areas.



*Several homes in the local district were constructed before the invention of modern vehicles. The construction of a new driveway should be located to the rear (above) when possible and should limit impervious surfaces (below).*

### 1.4. Standards for Driveways and Off-street Parking

- 1.4.1. Locate new parking lots and driveways in the historic district as unobtrusively as possible. Parking lots consisting of large expanses of concrete or asphalt with little planting or other screening are not appropriate.
- 1.4.2. Proposals for new parking lots or off-street parking areas should be accompanied by scaled site plans, including all proposed landscape and ground cover changes and information on proposed lighting types, placement, and intensity.
- 1.4.3. Site new parking areas in interior or rear lot locations where possible.
- 1.4.4. Avoid removing trees and other landscape elements that contribute to the historic character of a site.
- 1.4.5. Integrate pedestrian scale lighting into parking areas to avoid excessive glare and illumination to adjoining properties. See EXTERIOR LIGHTING standards and the Southport Zoning Ordinance for further details on





lighting standards.

- 1.4.6. Incorporate existing mature trees into new parking areas. Avoid the placement of impervious surface materials such as asphalt and concrete in areas below the canopy crown of the tree. Use turf stone, gravel, marl, or other pervious materials in these areas.
- 1.4.7. Use paving materials that were traditionally used on surface parking areas and driveways on the surrounding block or street. Gravel, marl, crushed shells, asphalt, and concrete are typical parking lot treatments, while grass, gravel or concrete runners with a grassy median, brick, and marl are typical driveway treatments. Use wood, bricks, stone, or metal to contain loose paving materials. Concrete or plastic edging are not appropriate.



## Signage

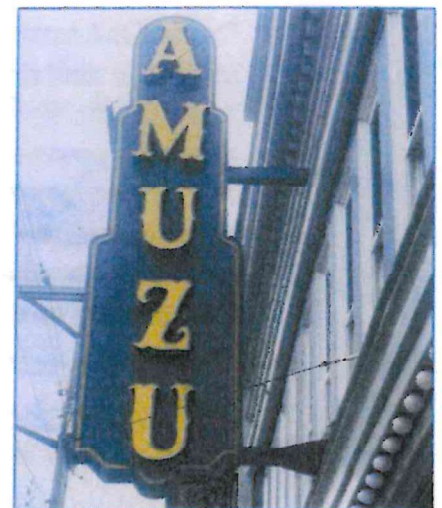
Southport's Local Historic District is blended with residential and commercial buildings. Signage throughout the district includes interpretive signage in public spaces, historic markers along major thoroughfares, historic plaques, and commercial identification signage. Identification signage is an important identifier for commercial businesses in Southport.

The City of Southport sign ordinance provides detailed guidance regarding appropriate signage. Installation of a sign in the Local Historic District requires a sign permit from the Development Services office as well as a Certificate of Appropriateness from the Historic Preservation Commission. Please review the sign ordinance or contact Development Services for additional information.

*Fascia signs (above), window signs, and projecting signs (below) are appropriate for commercial buildings.*

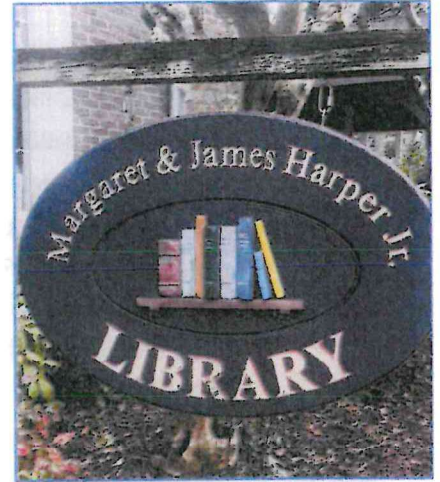
### 1.5. Standards for Signage

- 1.5.1. Use traditional materials found in the district, such as wood and metal for new signage. Substitute materials that have the appearance of wood are allowed. Plastic signs, flashing signs, or portable mobile signs, except those listed in 1.5.9, are not appropriate in the historic district. Interior neon signs larger than 10" by 18" that are located within five (5) feet of a window or glass door on an exterior wall and are so placed as to be seen from the outside are not appropriate. **INTERNAL GLASS MOUNTED SIGNS ARE NOT SUBJECT TO HPC REVIEW.**





- 1.5.2. Place signs so that they do not visually overwhelm the building or streetscape or damage or obscure character defining architectural details. Recognize that maximum signage allowances granted by the Southport Unified Development Ordinance may be inappropriate in the context of the building or site under review.
- 1.5.3. Signs on commercial buildings are preferred to be located in a signboard frieze located above the display windows. In this location the sign serves as a boundary between the upper and lower façade.
- 1.5.4. Neon colors or fluorescent colors on signs is not appropriate.
- 1.5.5. Use simple, clear graphics and lettering styles in sign design.
- 1.5.6. Use of flashing signs (including illumination of vending machines) is prohibited. Use ground-mounted spotlights concealed by landscaping or wall-mounted lights to light signs at night.
- 1.5.7. Freestanding signs must be low-mounted and must not obscure pedestrian views. No more than one (1) freestanding sign shall be allowed per street frontage. Freestanding pole supports should be simple and unobtrusive in design. Freestanding signs in the Central Business District are not allowed.
- 1.5.8. Consolidate public signage on uniform poles to reduce visual clutter.
- 1.5.9. The use of an A-frame sign is allowed in the historic district and must not contribute to visual clutter of the streetscape nor impede the flow of pedestrian traffic. No more than one (1) A-frame sign per business is allowed. The signs must conform to the basic standards for signage including color, material, style, graphics and placement. A-frame signs may not exceed eight (8) square feet on either side (which includes legs/stand/bracing) The sign may not exceed four (4) feet in height. Signs of this type must be removed from outside the location at the close of the business day.



Small post mounted hanging signs (above) and post mounted signs (below) interact with pedestrians.



The architectural style should be considered when placing signage on the primary building facade. Decorative signage should complement the existing aesthetic.



## Docks, Piers, and Boardwalks

Southport's location on the Cape Fear River is significant to the city's history. With the establishment of Fort Johnston, the city would eventually surround the fort. The city's location provided numerous opportunities for fishing, river piloting, and trade. Historically, the city's working waterfront consisted of several wharves and docks. The City Wharf was located between Howe and Davis streets in Southport, the Engineers Wharf was located in front of the Garrison House, the Standard Oil Company Wharf was located north of Kingsley Street. Some wharves were replaced by municipal piers. Today, these piers serve as educational and recreational points of interest for locals and visitors.

Additionally, Southport has maintained its viewshed of the Cape Fear River. Views from Kingsley Street, Rhett Street, Atlantic Avenue, Davis Street, Howe Street, Lord Street, Caswell Avenue, and the Yacht Basin remain. These viewsheds are important to Southport's character and sense of place.

Docks, piers, and boardwalks are typically part of any waterfront community. Traditionally, private piers and docks in Southport have been constructed perpendicular to the shoreline. Planning should go into the construction of new docks, piers, and boardwalks to maintain the special character of the waterfront.



### 1.6. Standards for Docks, Piers, and Boardwalks

- 1.6.1. Use a design that is simple, functional, and utilitarian. Avoid lighting fixtures that are too prominent or that are not utilitarian and functional in appearance.
- 1.6.2. Built in features such as pavilions, gazebos, screened rooms, or other types of roofed structures such as boat sheds are not appropriate.
- 1.6.3. Comply with Coastal Area Management Act and Water Quality regulations when constructing new piers, docks, and boardwalks.
- 1.6.4. Repair docks, piers, and boardwalks and their details and features, using accepted preservation methods.

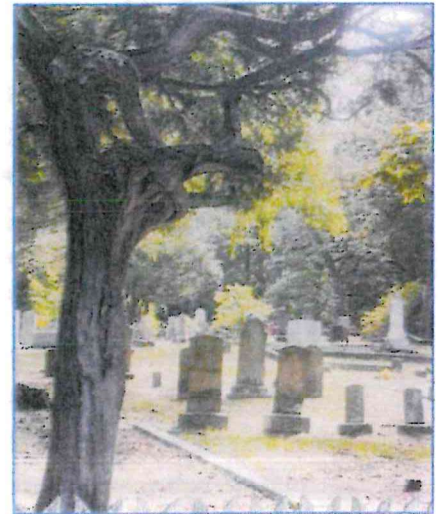


Lighting must also meet the [Standards for Exterior Lighting](#).



# Cemeteries

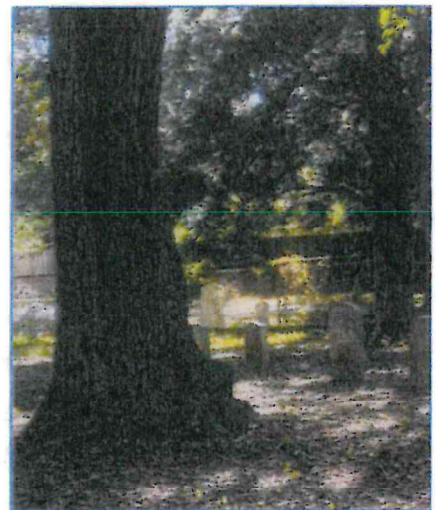
There are several cemeteries Southport including the Old Smithville Burying Ground, John N. Smith Cemetery, and the Old Morse Cemetery. It is important to note that these cemeteries are not the same. They are different in regards to layout, grave markers, landscape, and culture. Therefore, they should be treated and cared for differently. It is important to respect each cemetery for its existing conditions and its cultural traits. Care should be taken to preserve and maintain each cemetery, including grave markers and other objects associated with the cemetery. Under North Carolina, G.S. 14: 148-149 states it is a Class I felony to deface or desecrate grave sites, or plow over or cover up existing graves. Additionally, NC G.S. 70: 29-33 requires that any inadvertent discovery of human remains on a construction site shall stop work immediately and contact the State Medical Examiner and State Archaeologist 910-251-7323.



*The Old Smithville Burying Ground is included in the National Register District. It is believed that burials took place here beginning with the presence of Fort Johnson in 1745.*

## 1.7. Standards for Cemeteries

- 1.7.1. Under GS 14.-148 and G.S. 14-149 it is a misdemeanor and Class 1 felony to deface and desecrate grave sites. This includes throwing trash in a cemetery, disturbing a cemetery or items in a cemetery including markers and plantings.
- 1.7.2. Identify, retain, and preserve cemeteries and their features including grave markers, foot markers, statuary, crypts, fences, walls, objects, plantings, and landscapes.
- 1.7.3. Protect and maintain cemetery features, forms, materials, and details through regular maintenance and repair using accepted preservation methods. .



*The Old Morse Cemetery is located on property once known as Bryan Morse Plantation. This cemetery dates back to the mid-nineteenth century.*

Register cemeteries with the North Carolina Cemetery Survey at [archeology.ncdcr.gov/programs/cemeteries](http://archeology.ncdcr.gov/programs/cemeteries)



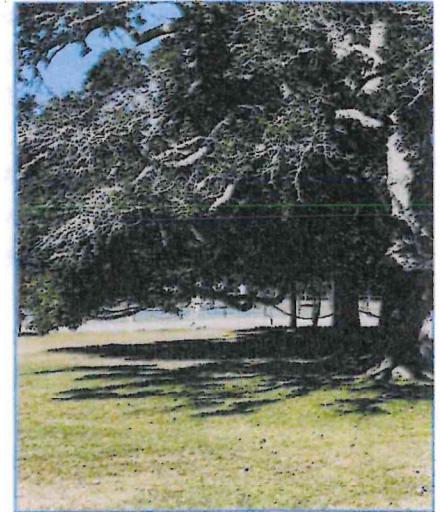
## Archaeology

The history of Southport began way before the Europeans arrived and may have been inhabited by Waccamaw and Tuscarora tribes. Spanish and English explorers were the first to visit Southport in the 16th century. The area surrounding the Cape Fear River was known to be a popular location for pirates in the early 1700s. The potential for archaeology discovery within the local district and in Southport is high. Typically, archaeology is found underground, but with Southport being located on the Cape Fear River it can also be found under water. The Cape Fear River has the potential to yield information about the history of Southport.

Archaeological resources are important to Southport's heritage. Resources may be discovered during archaeological digs or by using ground penetrating radar. However, archaeological resources may also be discovered during minor site work, including the addition of a sidewalk, gardening, etc. Homeowners are encouraged to contact the City of Southport staff to document these resources before continuing work. Archaeology can provide information on the location of earlier buildings or outbuildings on a property, the location of walls, gardens, walkways, and pathways. Archaeology should be a component of the preservation planning program. Section 106 of the National Historic Preservation Act requires State and Federal Agencies consider archaeology when planning projects and further requires that the consult with the North Carolina Historic Preservation Office to avoid or mitigate any adverse effects. Private property owners are not required to conduct archaeological studies prior to conducting work on privately-funded projects. The Office of State Archaeology (OSA) is available to provide additional information or assistance with archaeological resources.

### 1.8. Standards for Archaeology

- 1.8.1. Identify, retain and preserve archaeological resources that are important to the history of the site or district.
- 1.8.2. Minimize ground-disturbing activities in the historic district to avoid possible damage or destruction to known or unknown archaeological resources.
- 1.8.3. Investigate the potential for archaeological resources prior to undertaking a project that affects the grounds surrounding a property. Contact the NC Office of Archaeology (OSA) for additional assistance.



*There is a strong potential for archaeological remains associated with the fort on the Garrison House lawn.*





- 1.8.4. Recognize that archaeological resources exist both below ground and below water.
- 1.8.5. Preserve archaeological resources intact in their original state and location wherever possible.
- 1.8.6. When disturbance of archaeological resources is unavoidable, use qualified archaeologists to employ contemporary methods of investigation and evaluation.
- 1.8.7. Do not use heavy machinery in areas known to have archaeological resources.

Cemeteries or inadvertent discovery of human remains requires compliance with state statutes GS 14: 148-149 and GS 70: 29-33. If inadvertent discovery occurs the general statute requires that all construction activities stop work immediately and contact the North Carolina Office of State Archaeology. Please see the previous section specifically about cemeteries.



## Roofs

Roof form, pitch, and materials are among the distinguishing characteristics of different styles of architecture. Roofs can be flat, pitched, hipped, curved, or a combination of these forms. Roof forms, pitches, and materials vary in the Southport Local Historic District due to the extended period of development that occurred in Southport. Architectural styles are often distinguished by roof types.

### 2.1. Standards for Roofs

- 2.1.1. Protect and maintain historic roof-top features such as ornamental eaves, cornices, rake-boards, dormers, gables, chimneys, finials, cresting, steeples, belfries, cupolas, and railings that add to the overall architectural character of a structure. The design of any new roof features should be based on documentary evidence and are compatible with both the building and surrounding buildings. It is inappropriate to damage, conceal, or remove significant roof features.
- 2.1.2. Preserve, maintain, and repair historic roofing details and materials such as slate, standing seam metal, and tile. Replace in-kind only if necessary due to deterioration or damage. Replace only the damaged or deteriorated portion using materials identical to the original if possible.
- 2.1.3. New roofing materials should be compatible with either the existing or original roofing material. Match the historic material as closely as possible in color, shape, size, and texture. Asphalt, fiberglass-asphalt shingles, and metal roofs are acceptable. Any distinctive patterns of shingles or slates shall be retained and/ or replicated exactly
- 2.1.4. Contemporary or non-historic roof features may be installed on areas of the roof not seen from the public view or on other non-character defining secondary roofs. Included are skylights, roof-mounted vents, dormers, chimneys, antennas, and solar collectors. These are not permitted when their installation or later removal would damage or destroy a significant roof feature. In certain instances, new dormers may be permitted on side or rear elevations if their design is compatible with the building and the roofline.
- 2.1.5. Install new gutters without damaging or obscuring architectural features.



*The Adkins-Ruark House has a multi-gabled roof that flares out over deep cornices.*



*The Northrup House is a good example of Queen Anne style with its varied roof lines, including the tower.*



It is inappropriate to replace concealed, built-in gutter systems with modern exposed gutters. Gutters of all materials except copper shall have a painted finish. Half-round gutters are appropriate for most contributing properties. Wood gutters may be appropriate for certain period restoration projects.

- 2.1.6. Ridge vents, where needed, shall be of the low-profile type and shall not diminish the original design of the roof or destroy any character-defining architectural details. Other vents, such as gable vents and roof-mounted vents, should be installed so as not to be visible from the public view where possible. If they must be visible, they should be installed to respect the architectural details and character of the subject building.
- 2.1.7. It is not appropriate to create a false sense of historical development by making changes to roofs, such as adding conjectural features lacking insufficient historical, pictorial, or physical documentation.
- 2.1.8. It is inappropriate to alter the existing roof pitch or introducing a new roof pitch.
- 2.1.9. Avoid using a substitute material for the replacement of a deteriorated historic element that does not convey the visual appearance of the surviving parts of the roof or that is physically or chemically incompatible.
- 2.1.10. Avoid constructing additional stories resulting in an altered appearance.



## Exterior Wood Siding, Trim, and Ornamentation

Southport's historic buildings are sheathed with a variety of materials that contribute to the special character of the district. The majority of the architecture in the district is wood-frame construction with wood siding, with few masonry construction most which are located in or near downtown. Exterior wood elements includes siding, trim, shingles, door and window surrounds, columns, cornices, pediments, brackets, columns, balustrades, and other architectural moldings or decorative ornamentation. These features are often the character defining features of the building and should be maintained and preserved to retain the special character of the building and the local district.



### 2.2. Standards for Exterior Wood Siding, Trim, and Ornamentation

- 2.2.1. Identify, repair, and preserve existing original wood siding, trim, ornamentation, and other wood decorative elements that contribute to the character of the historic building and the significance of the district as a whole.
- 2.2.2. Preserve and repair existing wood elements wherever possible. Use preservation techniques which encourage repair (such as epoxies, splicing, and patching where applicable) rather than wholesale replacement.
- 2.2.3. Replace historic wood elements only where the original is too deteriorated to repair. If replacement is necessary, use new replacement wood that matches the original as closely as possible in all properties: shape, profile, texture, and detailing. The deteriorated or damaged condition should be documented. Replacement of these features in kind and according to the standards does not normally require a COA.
- 2.2.4. If a portion of a historic wall is deteriorated beyond repair, replace only the damaged portion. In other words, a damaged portion of a wall does not provide an excuse for wholesale replacement.
- 2.2.5. Prepare surfaces for painting using the gentlest means possible. Low-pressure power-washing should be used only after a test panel of washing has been performed by the contractor and reviewed by the owner





for excessive damage. Sandblasting and high- pressure water blasting are not appropriate treatments.

- 2.2.6. It is inappropriate to strip paint with the object of staining it or leaving it unfinished for a supposedly "natural" appearance when such an appearance cannot be historically documented.
- 2.2.7. Avoid replacing clapboard siding with shingle siding (or vice versa) or replacing clapboard siding with siding of a different width or profile, particularly if the later siding has gained historic significance in its own right.
- 2.2.8. It is not appropriate to compromise the architectural integrity of a building by introducing or removing siding, trim or other decorative features, or by concealing or removing decorative details such as cornices, corner boards, brackets, pilasters, door and window moldings, pediments, medallions, dentil and modillion molding, corner boards, and other character-defining architectural trim.
- 2.2.9. The use of vinyl or aluminum siding is not permitted. Where vinyl or aluminum siding exists, it can be maintained and replaced.
- 2.2.10. When the original siding is too deteriorated to repair, the HPC may allow the replacement of siding with new substitute siding if the proposed replacement will be more in keeping with the original appearance of the structure and can match the profile and texture of the original siding.
- 2.2.11. The use of fiber cement siding may be approved for new structures and non-historic structures. Fiber cement siding may be appropriate for additions to historic structures.
- 2.2.12. To avoid creating a false historical appearance, do not use trim salvaged from another building or buildings or stock trim. Likewise, avoid moving or rearranging existing trim to another part of a building without historical evidence to back this up. Do not use stock trim when original trim can be replicated.
- 2.2.13. Blown in insulation should be placed in the house so as not to disturb siding.

Must meet standards for Substitute Materials.

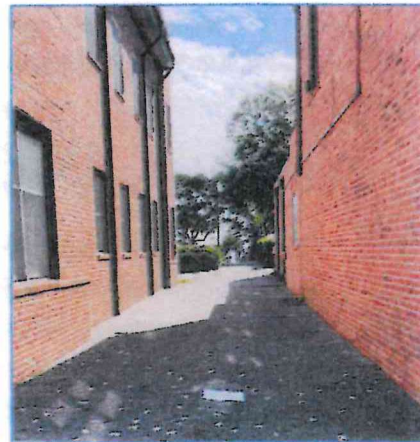


# Masonry

Masonry materials were historically used for aesthetic purposes and because of their durability. The most dominant material in Southport's downtown is masonry. It is also used for foundations, chimneys, and retaining walls. Historic masonry materials include brick, stone, slate, and concrete block. Like all building components, masonry requires routine maintenance to ensure its longevity.

## 2.3. Standards for Masonry

- 2.3.1. Retain and preserve historic brick and masonry elements, including walls, chimneys, foundations, and retaining walls. Preserve masonry elements that are character-defining features of the building or property.
- 2.3.2. Repair and restore historic masonry elements, rather than replace. Remove vegetation and vines from masonry to prevent structural or moisture damage.
- 2.3.3. Clean historic masonry only with low-pressure water washing and mild detergents formulated for the specific application. Use chemical cleaners formulated for historic masonry only if water and detergent cleaners are not effective.
- 2.3.4. Sandblasting, high-pressure water blasting, and other abrasive cleaning methods which may damage historic masonry are not appropriate in the historic district.
- 2.3.5. Water-repellant sealers are generally not appropriate because they may trap moisture, causing deterioration or discoloration.
- 2.3.6. For repointing, use only mortars that are compatible with historic mortars in composition, color, strength, and joint finish or surface tooling. Maintain the historic joint width, joint profile, and bond patterns when making repairs. Modern mortars may cause damage to older, softer bricks.
- 2.3.7. Use only hand tools to remove deteriorated mortar joints, under the direction of a skilled mason. Do not use power tools or saws to remove mortar joints.
- 2.3.8. When replacing damaged brick or stone, use replacements that match the original units as closely as possible.
- 2.3.9. It is inappropriate to paint masonry surfaces that were not painted



*Masonry materials is the dominant building material in the commercial downtown.*



*Masonry is a dominant material for chimney construction.*



historically. When painting masonry that has been previously painted, use acrylic latex paints for best durability.

## Windows, Doors, and Shutters

Windows, doors, and shutters in the Southport Local Historic District consist of a variety of architectural styles. They are character-defining features and influence the architectural character of the building through their pattern, material, shape, size, fenestration, and style. Windows and doors are functional elements allowing in natural light and providing ventilation to enter the building's interior. Shutters in the district may or may not be operable; operable shutters provide additional protection for historic glazing.

### 2.4. Standards for Windows, Doors, and Shutters

- 2.4.1. Identify, retain and preserve historic windows and doors, including all significant related elements such as frames, sashes, shutters, hardware, old glass, sills, trim, and moldings. Documented restoration is allowable.
- 2.4.2. Repair existing historic windows and doors where possible, rather than replacing entire window or door units. Use accepted preservation methods for repairs. It is inappropriate to remove significant windows, doors, or their details or features rather than repair them.
- 2.4.3. Use replacement windows and doors that match the existing historic elements as closely as possible. Wood windows are encouraged to be replaced with wood windows. If replacement windows or doors are required, consider first replacing only the deteriorated element, such as a single sash or door, rather than the entire frame or unit. Any new replacements shall match the original in all dimensions, materials, and detailing as closely as possible. Replacement or new windows or doors outside of public view can be of other materials than original.
- 2.4.4. It is inappropriate to replace windows or doors with smaller units that do not fill the entire opening.
- 2.4.5. Tinted glass is not appropriate in the historic district in any area visible from public view. Energy-saving or "low-E" glass may be used only if it is not tinted.



- 2.4.6. New windows must match the original overall size, opening area, muntins, and grilles. Snap-in grilles or grilles between glass are not appropriate for windows visible from public view.
- 2.4.7. Preserve and repair original or historic shutters. It is appropriate to add louvered shutters to a historic structure if there is evidence that it once had blinds. All shutters shall be installed so that they will fit the window frame opening if closed and shall be of correct proportions for each window. Blinds shall be provided with operable hardware, consisting of hinges, pintles, and holdbacks located in the appropriate positions. Shutters may be operable or fixed. Shutters made of synthetic or substitute materials, that duplicate the look, appearance and patina of wood may be allowed. They should not be nailed or screwed onto the building surface.
- 2.4.8. New window and door openings shall not alter the historic character of the building or cause damage to historic materials or other significant architectural features. They must be detailed and sized to be compatible with the existing structure.
- 2.4.9. Avoid the placement of metal awnings over windows and doors. Fabric awnings may be used if the house originally or historically had them. Install awnings in such a manner that they do not conceal architectural features or damage historic building fabric. Choose colors and patterns that harmonize with the building and do not compete with it.

## Porches and Entrances

Porches and exterior entrances are prominent and visible features on many homes in Southport. These details contribute to the unique sense of place found in historic districts. Porches may be front porches, side porches, two-story porches, sun porches, and balconies.

### 2.5. Standards for Porches and Entrances

- 2.5.1. Retain and preserve historic porches, entrances and doorways including related features such as railings, posts or columns, ceilings, steps, lattice, flooring, piers, ornamental trim, and other character defining elements.
- 2.5.2. Repair, rather than replace, historic porch and entrance elements, wherever feasible. Use repair techniques which preserve historic material,

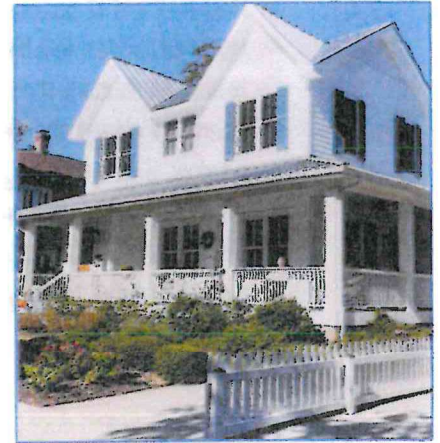


*Two-story porches are a prominent feature in many of Southport's homes.*

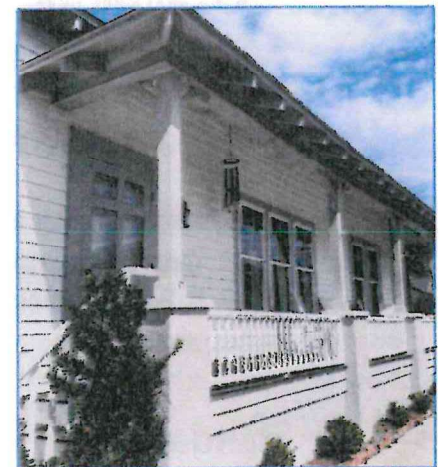


including patching, epoxy repair, reinforcing, or splicing-in of new wood in place of deteriorated sections. Replacement elements should match the original in size, shape, pattern, color, and texture.

- 2.5.3. Use appropriate materials in the repair and restoration of historic porches. Woods that are naturally rot-resistant or treated will provide the greatest durability for exposed elements such as railings, steps, flooring, and floor framing. The use of pressure-treated wood is appropriate when painted within six months. The use of substitute material that duplicates the look and patina, and architectural detail is allowed.
- 2.5.4. The enclosure or other alteration of original or historic front porches is not appropriate in the historic district. The enclosure of porches at the rear, or other areas not seen from the public view, is appropriate if the enclosure is designed and constructed in a manner that preserves the historic character and features of the porch.
- 2.5.5. Covering a porch with non-historic material such as vinyl or metal siding, or "winterizing" a screened porch by permanently attaching plastic sheeting is not permitted.
- 2.5.6. Using indoor-outdoor carpeting to weather-proof a porch floor is not permitted.
- 2.5.7. Use architectural details and ornamentation that are compatible with the style, period, and detailing of the porch and structure. Such features as new metal columns or wrought iron posts, over-scaled columns with elaborate capitals, metal or plastic balustrades are not appropriate. The creation of a false historical appearance, such as adding Victorian ornament to a plain early 20th century porch, is not appropriate. Removing a porch that is not repairable and not replacing it or replacing it with a new porch that does not convey the same visual appearance on contributing historical properties is not permitted.
- 2.5.8. Reconstruct missing porches or porch details based on accurate documentation of such features. Such documentation may include: evidence found on the subject building; historic photographs; or compatible details found on another porch in the district of the same period and general style. The owner shall provide the commission with such documentation in the application for a Certificate of Appropriateness.
- 2.5.9. It is not appropriate to add new porches, entrances, or balconies to



*Many of Southport's historic homes have character defining features such as wraparound porches. Craftsmen style porches often include exposed rafters.*





primary elevations or other areas of a building that are seen from the public view if none existed historically.

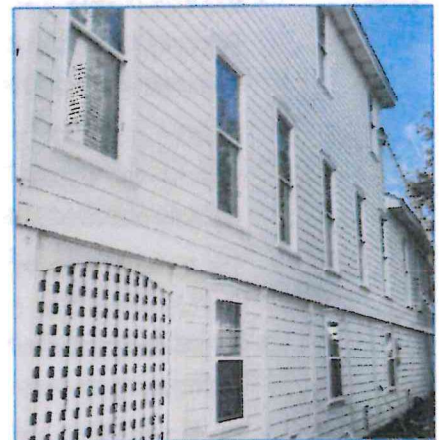
- 2.5.10. Collapsible gates on porches to restrain pets or young children are reviewed by the HPC on a case-by-case basis and should be truly temporary and removable. Permanent gates are reviewed by the HPC. Gates of any kind at the foot of porch steps create an unnecessary visual barrier and are not appropriate.
- 2.5.11. New handicapped access ramps and other modifications to improve access shall be designed so that the modifications are reversible and do not damage or obscure the buildings' architectural features or diminish its historic character. When feasible, ramps should be located or obscured from primary elevations.

Must meet standards for Accessibility and Life Safety.

## Foundations

### 2.6. Standards for Foundations

- 2.6.1. Retain and preserve original and historic foundations and related elements wherever possible, including: pier size, vents, grilles, lattice, materials, and other significant details.
- 2.6.2. Retain and preserve existing historic materials wherever possible, rather than replace. For repairs or rebuilding, select new brick, mortar, ballast stones, and other materials to match the historic materials as closely as possible in all respects.
- 2.6.3. If a portion of a historic foundation is deteriorated beyond repair, replace only the damaged portion using materials and finishes that match the original. Do not use replacement of a damaged portion as an excuse for wholesale replacement without thorough documentation of the reasons for this change.
- 2.6.4. New vents or access doors should be centered between piers. Use inconspicuous vents, such as black iron or dark plastic, rather than unpainted aluminum. Locate access doors and other new openings in areas not visible from public view.
- 2.6.5. For infilling between existing brick piers, construct a curtain wall that is recessed approximately 1" to 2" back from the outer face of the piers





so the original piers stand out; use this treatment for both old and new foundations. Flush foundations and infill are not appropriate. Concrete block may be used only if covered with a veneer of brick or sand- finished stucco. Leave foundations under porches open wherever possible to promote air circulation to prevent rot and deterioration; use wood lattice or grilles to enclose.

- 2.6.6. Wood grilles or lattice are appropriate for infill if compatible with the period or style of the structure. Stock lightweight lattice is not appropriate in areas in the public view.
- 2.6.7. It is inappropriate to paint existing, unpainted historic foundations. Previously painted foundations should be repainted an appropriate color. Avoid removing paint from a previously painted foundation.
- 2.6.8. Covering an existing foundation with later siding (artificial or wood) or covering with stucco, cement, or pressed metal siding strips that replicate rusticated concrete block is not permitted.
- 2.6.9. The raising of a building's foundation should be undertaken for sound structural and/or flood control reasons ONLY, and these reasons should be well-documented by flood maps, an architect or engineer's report accompanying an owner's COA application.
- 2.6.10. Locate new utilities and mechanical equipment such as package unit furnaces, heat pumps, and air conditioning coils at the rear or other areas not seen from public view. Utilities should never be located at the front of a structure or site. Provide screening with plantings, fences, or plant treatments.

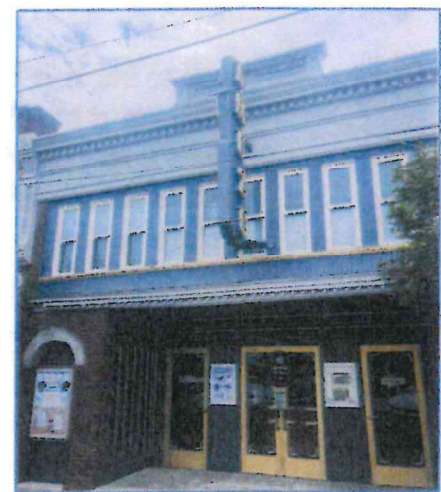
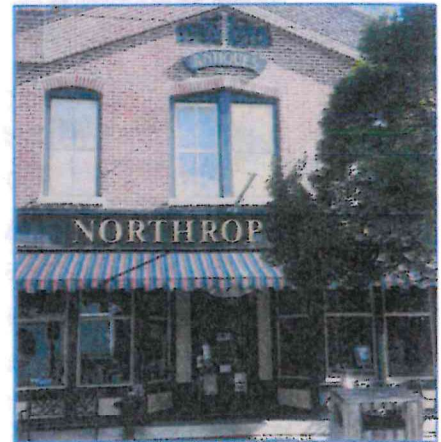
Must meet standards for masonry.



# Storefronts

## 2.7. Standards for Storefronts

- 2.7.1. Retain and preserve historic commercial storefronts and building façades, including display windows, entrance configurations, doors, transoms, bulkheads, windows, cornices, parapets, and brickwork.
- 2.7.2. Replace historic storefront features only when original elements are too deteriorated to repair. Replacement materials should match the originals in design, dimension, texture, and color. Identical replacement materials are preferred but substitute material may be approved on a case-by-case basis.
- 2.7.3. To reconstruct missing or altered storefront features, design new façade details to be compatible with the subject building and the surrounding historic buildings of the same period and style. Consider returning altered facades to original window sizes and configuration. Materials used must conform to the above standards (2) for replacement storefront features. Base the rehabilitation on sound historical evidence. Avoid historically false “colonial” features such as carriage lamps, eagles, bay windows, broken-arched pediments, and other popular artifices.
- 2.7.4. Preserve and rehabilitate rear facades where possible, particularly where access is provided from rear parking areas. Eliminate or consolidate utility lines, pipes, meters, mechanical units, etc. to improve the appearance of rear facades. Locate trash cans and dumpsters away from public rear access doors and screen them from public view.
- 2.7.5. Retain original roof forms and features. Do not add additional stories, penthouse, roof decks, skylights, mechanical equipment or any other features that can be seen from the sidewalk, right-of-way or any public rear access walkway. Exceptions may be made on a case-by-case basis if there is a clear historic precedent.
- 2.7.6. Always try to repair or replace on a limited basis, rather than embark on whole-sale replacement. Do not introduce a new design that is incompatible in size, scale, material, and/or color with its surrounds.
- 2.7.7. When possible, remove late-twentieth century and early-twenty-first century replacement storefronts and restore storefronts to their historic configurations. Reconstruct storefronts based on historic photos or





physical evidence. Storefronts must be compatible with the historic character of the building with design, proportion, profiles, and finish consistent with those of typical storefronts from the same era.

- 2.7.8. If an entire storefront or building surface, detail, or element must be replaced due to deterioration, replace only with materials that match the original in size, shape, design, profile, scale, color, and texture.
- 2.7.9. Install fabric or canvas awnings, where historically appropriate, so that they do not obscure windows, doors, or other character defining features. Select an awning design based on historical profiles, styles, and shapes. It is not appropriate to install pent roofs or plastic or metal awnings over commercial storefronts. Flat-roofed metal awnings may be appropriate on buildings/ storefronts constructed in the 1960s and later.

## Accessibility and Life Safety

### 2.8. Standards for Accessibility and Life Safety

- 2.8.1. Locate fire exits, stairs, landings, and ramps so that they are compatible with the character of the building or site. For example, wheelchair ramps may replicate a railing detail on a building or be of a simple design that allows it to blend discreetly with its surroundings. Such elements should be painted to tie in with the structure.
- 2.8.2. Introduce new or alternate means of access to the historic building, in ways that do not compromise the appearance of an historic entrance or front porch.
- 2.8.3. Construct wheelchair ramps and chair lifts that are portable or temporary and do not permanently damage, obscure, or require the removal of character defining architectural features. Such alterations should be reversible in nature to maintain the integrity of the historic resource. When feasible, ramps should be located or obscured from primary elevations. (SEE MINOR WORKS).



## Utilities and Energy Efficiency

### 2.9. Standards for Utilities and Energy Efficiency

- 2.9.1. Locate utilities, vents and meter boxes and other utility connections in side or rear yards and screen from public view with plantings, fencing, or other means.
- 2.9.2. Locate roof ventilators, antennas, solar panels, and satellite dishes in areas not visible from public view. Satellite dishes exceeding 24" in diameter shall not be installed in the historic district.
- 2.9.3. Paint meter boxes, vents, and other utility fixtures visible from the street in colors that will allow them to blend in with the historic/existing building.
- 2.9.4. It is inappropriate to install window air-conditioning units on the primary elevation of a historic building.
- 2.9.5. When installing utility fixtures—such as streetlights, signal boxes, or utility poles—in the public right-of-way, take into account the impact of the fixtures on the character of the streetscape and the historic district as a whole. Utility fixtures will be evaluated in terms of location, design, color, scale, and compatibility with surrounding streetscape features, and the overall visual impact on the district.
- 2.9.6. Install utilities underground whenever possible.
- 2.9.7. Avoid radically pruning street trees located under utility wires. Such pruning practices permanently damage the form and long-term health of the tree.



Must meet standards for Standards for Landscaping.

## Substitute Materials

### 2.10. Standards for Substitute Materials

Humidity, average rainfall, hurricanes, and other storm events are more common in coastal areas. While wood, masonry, and metal are essential in creating weather-tight buildings, excessive moisture can be detrimental to these materials. For this reason, it is important to divert water away from the building with



downspout extensions or under-ground drainage systems. Furthermore, paint and other coatings must be intact in order to prevent deterioration of historic materials and the need for replacement.

If replacement is deemed necessary, it is preferable to replace the surface materials in kind. However, substitute materials can be seamlessly integrated into the surface when the area being replaced is limited and the new material is the same width, texture, profile, and color as the existing materials. If substitute materials are used with different physical and visual properties they can cause a radical change in a building's appearance and lead to further damage or deterioration. It is important when selecting an appropriate substitute materials to consider the resiliency of the material.

Genuinely, the concern for loss of integrity of the historic building due to replacing historic materials with substitute materials is contrary to the principles of preservation. However, when materials are deteriorated beyond repair substitute materials can be a more cost-effective solution as long as the replacement materials physical and visual characteristics replicate the original materials. Imperfections from the natural aging of materials and the application of multiple layers of paint are not sufficient to deem replacement of these historic materials.

- 2.10.1. Identify, retain, and preserve historic materials that contribute to the overall character of the building and the historic district, including wood, metal, and masonry.
- 2.10.2. Protect and maintain historic materials, surfaces, and other relative features through routine maintenance and by using accepted preservation methods. Surfaces should be cleaned with the gentlest means possible.
- 2.10.3. Repair historic materials and details using accepted preservation methods for patching, splicing, consolidating, and reinforcing.
- 2.10.4. If historic materials must be replaced due to deterioration, replace only the deteriorated surface or detail. Replacement surfaces and details should match in-kind materials including size, shape, design, scale, color, and texture.

National Park Service Preservation  
Brief 16:

The Use of Substitute Materials on  
Historic Building Exteriors

<https://www.nps.gov/orgs/1739/sustainability-energy-efficiency-resilience-historic-buildings.htm>



- 2.10.5. Consider substitute materials only if:
- A. the historic material is not available,
  - B. skilled craftsman capable of manipulating and installing the material are not available,
  - C. there are inherent flaws in the material,
  - D. modern building codes require a change in material, or
  - E. rapid or repeated deterioration is reasonably expected.
  - F. In these instances, the substitute material should replicate the original in size, shape, design, scale, color, and texture.
- 2.10.6. It is inappropriate to replace sound historic building materials with new materials to create a new or smooth appearance.



## Residential Additions

Many homes in Southport have additions in one form or another. The enclosure of a porch or an addition linking the main house to a detached kitchen. Historic homes have been regularly added on to, to meet the needs of their occupants, including changes in use and shifting family and societal needs. These changes illustrate the evolution of the building and are important in understanding the building's history. Additions that are over fifty years old may have achieved historical significance and should be preserved or considered when planning an addition to a historic home. Preserving the historic home and maintaining its architectural integrity can often be achieved when adding onto the home.

Additions should be sited in locations that preserve the historic relationship between the building, site, adjacent homes or buildings, and public rights-of-way. In most cases, additions can be designed and constructed without comprising the integrity of the historic home or building or the historic district. Most often, this is achieved by locating additions on rear elevations.

### 3.1. Standards for Residential Additions

- 3.1.1. Where possible, locate new additions at the side or rear so that they have a minimal impact on the façade and other primary elevation of the affected building or adjacent properties. Consider the impact from all public rights-of-way when constructing additions on corner lots or waterfront properties.
- 3.1.2. It is appropriate to consider height, scale, size and massing of the additions to ensure it is compatible with the existing structure and does not overpower it visually. A new addition should never be taller or wider than the original structure. Observe the principle of "additive massing" where the original structure remains dominant, and the additions are adjoining and smaller masses.
- 3.1.3. It is appropriate to design additions that are compatible with the existing building in terms of materials, style, color, roof forms, massing proportion and spacing of doors and windows, details, surface texture, and location. Contemporary adaptations of the original which clearly look like an addition and reflect the period of construction are encouraged.
- 3.1.4. Additions should be constructed so that they can be removed from the original building in the future without irreversible damage to significant



features.

- 3.1.5. Wood windows are most appropriate for new additions within the historic district; however, substitute window materials are acceptable for new additions provided the proposed windows meet the requirements set forth in the WINDOWS AND DOORS standards.
- 3.1.6. Rooflines of new additions should be similar in form, pitch, and eave height to the roofline of the original building so as not to overpower the prominence of the original building.
- 3.1.7. Foundations should be similar to or compatible with the existing foundations in material, color, detailing, and height.
- 3.1.8. The use of vinyl and aluminum building materials are not appropriate. Fiber cement siding may be used on a case-by-case basis. Use of fiber-cement lap siding may be approved for use on new structures. In all circumstances every effort shall be made to ensure that new structures and the application of modern-day products achieve compatibility with existing historic buildings that define the character of the Southport Local Historic District.
- 3.1.9. It is appropriate to use materials in traditional ways. New materials should appear as if they were applied in a traditional manner to convey the same visual appearance as historically used and applied building materials.
- 3.1.10. It is appropriate to match the foundation height, style, and materials as an addition to the original building, however, differentiate the junction of old and new by recessing the foundation and wall plane of the new addition.
- 3.1.11. Place outbuildings and accessory structures in side and rear yards. Avoid locations that obscure the principal building's prominent architectural features or significant site features.
- 3.1.12. It is appropriate to consider the significance of additions and alterations that are at least fifty years old to determine their contribution to the building's character defining features
- 3.1.13. It is not appropriate to site additions that require the removal of mature trees or plantings.

See Standards for Windows and Doors.



## New Residential Construction

Southport's architectural history does not represent one era or period of development., but it has evolved over the course of over 200 years. New residential construction can be successful in the historic district and illustrate architectural evolution.

The standards provide a basic overview of the district and its special character. If the proposed siting and design reflects an understanding of, and is compatible with, the special character of the district, new construction can enhance the district by eliminating gaps in the historic street front. However, special attention should be paid to setbacks, spacing, and orientation and ensure the new residential building is consistent with surrounding residential buildings, and that the height, scale, massing, proportions, and roof shape of the proposed new residential building is compatible with surrounding residential buildings.



### Checklist for New Residential Construction

- ◆ Is the building orientation consistent with the historic residential buildings?
- ◆ Is the lot coverage consistent of the new residential building consistent with adjacent buildings?
- ◆ Is the fenestration on the primary and visible side elevations in keeping with adjacent properties in the district to maintain the rhythm of the streetscape?

### 3.2. Standards New Residential Construction

- 3.2.1. Design new residential buildings to be compatible in height, scale, massing, proportion, and roof shape of surrounding residential buildings within the district, so they do not diminish or visually overpower nearby historic buildings. Building heights are regulated by zoning district in Section 3.9 of the Unified Development Ordinance.
- 3.2.2. Design new residential buildings that are compatible with the scale, pattern, detail, finish, composition, and color of historic buildings in the district.
- 3.2.3. Design buildings with compatible configuration, fenestration patterns, placement, materials, size, and overall proportion of windows and doors are congruous with nearby historic buildings. Openings which vary considerably from the established patterns found on the block in which the new construction is placed will tend to have a disruptive effect on the





- desired harmony of the streetscape and should be avoided.
- 3.2.4. Keep the siding and trim material of the proposed building consistent with the materials traditionally used on the immediate block and in the historic district. Wood siding, wood shingles (as typically found in gables of Victorian period residential architecture), and brick, were common sheathing materials and should be used.
  - 3.2.5. Use materials in traditional ways. New materials should appear as if they were applied in a traditional manner to convey the same visual appearance as historically used and applied building materials.
  - 3.2.6. The use of vinyl and aluminum building materials are not appropriate. Cementitious siding installed in a traditional manner with similar exposure size to emulate horizontal wood siding is also appropriate. In all circumstances every effort shall be made to ensure that new structures and the application of modern-day products achieve compatibility with existing historic buildings that define the character of the Southport Local Historic District.
  - 3.2.7. If a contributing building was demolished or moved from the site, design the replacement building to be of similar height, scale, massing, and location as the previously existing building. Applicants will have a heavy burden to demonstrate to the HPC that a replacement structure with different height, scale, and massing as the previously existing building is congruous with the Historic District.
  - 3.2.8. It is appropriate to maintain a similar front, side, and rear yard setback to other historic buildings on the block and/or side of the street.
  - 3.2.9. Maintain the pattern of building separation and lot coverage that is found on the block and/ or side of the street, when feasible.
  - 3.2.10. Minimize ground disturbance during new construction to avoid unnecessary damage to unknown archaeological resources.
  - 3.2.11. Retain and protect mature trees during construction.
  - 3.2.12. For new construction on Southport's waterfront, minimize any negative impact on historic views and vistas.
  - 3.2.13. Provide a date brick or other exterior date identification marker on all new construction to assist future generations in the dating of buildings.



## Commercial Additions

The majority of Southport's historic commercial core consists of one and two story buildings. However, within Southport's Local Historic District there are a variety of commercial buildings along N Howe Street and W Moore Street, including small one story commercial buildings with a small building footprint, residential properties that have been converted into commercial uses, and other one to two story buildings with a slightly larger overall building footprint than in the commercial core district.

Change is inevitable in buildings and neighborhoods. Building may need to be updated, expanded, or adapted to fit the needs of another use. When an addition is added, it is inevitable that some loss of materials and change will occur. The relationship between the building and the neighborhood will also change.

Locating an addition to the rear, is the easiest way to minimize its visual impact from the street. The standards provide a basic overview of the district and its special character and ensure additions are congruous with the historic district property. In some rare cases, an addition may be designed and perceived as a separate building, in that case, utilize the **STANDARDS FOR NEW COMMERCIAL CONSTRUCTION**.



### 3.3. Standards for Commercial Additions

- 3.3.1. It is appropriate for new commercial additions to be located along the rear façade of the historic building to reduce the visual impact on the building.
- 3.3.2. It is appropriate to design additions that are compatible with the existing historic building in terms of massing, scale, height, form, size, materials, proportion, fenestration, and roof form.
- 3.3.3. Rear additions should be recessed behind the sides of the historic building so it is not visible from any street.
- 3.3.4. Construct additions with the least possible impact upon the historic building by avoiding the loss of historic building materials, or obscuring character defining features.
- 3.3.5. Substitute exterior materials may be appropriate since most additions are not visible from the street. Cementitious siding simulating clapboards can be acceptable when the exposure width and characteristics of the original building's clapboards are followed.

National Park Service Preservation Brief: New Exterior Additions to Historic Buildings: Preservation Concerns

<https://www.nps.gov/orgs/1739/upload/preservation-brief-14-exterior-additions.pdf>



- 3.3.6. Simplified details that reflect the character of the historic building are appropriate.
- 3.3.7. Consider landscape features and plantings, street vistas, and topography when siting new additions.
- 3.3.8. It is not appropriate to site additions that require the removal of mature trees or plantings. Mature trees and plantings should be protected during the construction phase.

## New Commercial Construction

### 3.4. Standards for New Commercial Construction

The Southport Local Historic District commercial areas consist of a variety of building sizes in height, scale, massing, proportions, fenestration, and roof shapes along N Howe Street and along W Moore Street. Commercial buildings have evolved based on transportation demands and lifestyle needs of Southport's residents.

New commercial construction should be consistent in scale, height, form, massing, proportion, fenestration, and roof shape with adjacent and nearby commercial buildings. For instance, commercial buildings in Southport's commercial core typically share side walls, while along N Howe Street there is a variety of commercial building types, some with shared side walls and some self standing. Respecting the urban form characteristic of the commercial areas is more important than replicating any specific architectural styles. New commercial construction should reinforce the scale and rhythm of door and window openings along the streetscape. The end result enhances and fill any gaps in the streetscape.

- 3.4.1. It is appropriate to site new commercial buildings to maintain the same or similar setback, spacing, and orientation as the other surrounding historic commercial properties so it does not detract from the historic character of the site or surrounding area.
- 3.4.2. Commercial and institutional buildings setbacks can differ. Most new commercial buildings should front the edge of the sidewalk. Whereas, institutional buildings are often set back on a lawn or plaza.
- 3.4.3. Locate new commercial buildings so they do not obscure significant views and vistas. Consider the impact to all public rights-of-way when designing



projects on the waterfront or corner lots.

- 3.4.4. It is appropriate to design and scale new commercial buildings to be compatible in terms of the height, scale, massing, proportion, fenestration, and roof shape of surrounding commercial buildings so it does not visually overpower nearby historic buildings. Building heights are regulated per zoning district.
- 3.4.5. Design new commercial buildings so that the building configuration, placement, materials, size, and overall proportion of windows are compatible with surrounding historic commercial buildings.
- 3.4.6. Utilize building materials that are consistent with surrounding historic commercial buildings in regard to integrity, longevity, and appearance—including scale, pattern, detail, texture, finish, composition, and color.
- 3.4.7. Design and construct new commercial buildings to maintain the pedestrian experience of the commercial district, including a prominent ground-level entrance on the facade and ground-level display windows, instead of wide expanses of solid wall.
- 3.4.8. Minimize ground disturbance during new construction to avoid unnecessary damage to unknown archaeological resources.
- 3.4.9. Retain and protect mature trees during construction.
- 3.4.10. Provide a date brick or other exterior date identification marker on all new construction to assist future generations in the dating of buildings.

## Decks

### 3.5. Standards for Decks

- 3.5.1. Locate decks only on the secondary or tertiary elevations of historic buildings where they are minimally visible from the public rights-of-way and where their construction will not detract from the historic character of the site of district.
- 3.5.2. Locate decks so they do not destroy, damage, or obscure historic materials, details, and other character defining features of the historic building or site. When possible, incorporate existing topography and site features, such as mature trees.
- 3.5.3. Design decks to align with the first-floor level of the building and



construct them to be structurally self-supporting to minimize structural or material damage to the historic building.

- 3.5.4. Design decks and any related steps and railings to be deferential to, but compatible with the historic building in scale, material, configuration, and proportion.
  - A. Use decking materials including wood and composite that are compatible in scale, pattern, color, and detail of buildings in the district.
  - B. Paint or stain decks in colors that are compatible with the historic building and district.
  - C. Avoid replicating historic porch posts and railings for contemporary, uncovered decks.
- 3.5.5. Maintain and protect significant site features and adjacent buildings and structures from damage during, or as a consequence of, deck-related site work or construction.



## Building Relocation

The Southport Local Historic District is a collection of structures and properties that collectively represent the early history of the City's built environment. The buildings themselves as well as their location contribute to the significance and the story of a place. Relocating buildings can impact the integrity of the district. In addition relocation is complicated, expensive and comes with risks. Accordingly relocation of historic buildings in the historic district should be considered as a last resort and only after alternative options have been thoroughly considered. If it is necessary, buildings should remain in the district and as close to the original location as possible. The relocation site should resemble the original property to the degree possible. The lot should allow for the building to be compatible with surrounding structures and allow for spacing, setbacks, lot coverage, orientation and landscaping similar to the original site. The grading of the site should be similar and allow for the foundation of the building to be of similar height.

Detailed planning is necessary when considering the relocation of a structure. Interested parties should contact the State Historic Preservation Office and/or Preservation North Carolina for advice and assistance in advance of efforts to relocate a structure. A qualified and experienced mover should be selected with experience moving historic properties. Steps should be taken to minimize damage to the structure. Coordination with the City of Southport and utilities companies may be needed to plan a route for the move and whenever possible buildings should be moved as a single unit and not sectioned or disassembled.

A COA is required from the Southport Preservation Commission to relocate a property within the district or to move a building into the district.

### 4.1. Standards for Building Relocation

- 4.1.1. Choose relocation only as a last resort to demolition. Property owners that want to relocate a contributing building should design the replacement building to reflect the relocated building's height, scale, massing, and location. Applicants will have a heavy burden to demonstrate to the HPC that a replacement building with different height, scale, massing, and location as the previously existing building is congruous with the historic district.
- 4.1.2. Document the original site thoroughly with drawings and photographs prior



- to relocation.
- 4.1.3. Hire reputable movers who have experience with historic properties.
  - 4.1.4. Move the building as a single unit in lieu of partial or complete disassembly, if possible.
  - 4.1.5. Choose a site in the historic district, if possible.
  - 4.1.6. If moved within the historic district position the building on the new site so it relates to adjacent buildings and the overall streetscape. Place the building so that orientation of its principal façade and front and side setbacks are compatible with the surrounding buildings. Refer to NEW CONSTRUCTION STANDARDS for further information on placement.
  - 4.1.7. Provide a new foundation whose height, design, and facing materials match those of the original, if possible.
  - 4.1.8. Maintain any existing mature trees on the new site, if possible. This will help create an established building site context for the new structure.

## Demolition of Historic Landmarks and Buildings

Demolition can have significant detrimental effects to the integrity of a historic district. Every structure represents a valuable part of the history of the built environment in the Southport Local Historic District. Each structure is irreplaceable, and demolition should be a last resort only after all possible alternatives have been investigated. A COA authorizing the demolition of a structure in the historic district cannot be denied unless the building is determined to have Statewide Significance. If the building proposed for demolition is determined by the SHPO to have Statewide Significance which is generally defined as being individually eligible for the National Register of Historic Places with significance at the state or national level, then the commission may deny the COA. However, regardless of the determination of significance the HPC can delay demolition for up to a year (365 days) to allow for the full study of potential alternatives. Property owners are encouraged to work with the Commission to determine alternatives to demolition. Structural stabilization and weatherization are encouraged to preserve buildings while alternatives are explored.

In reviewing a COA for building demolition, the HPC may consider the following:

- ◆ What is the contribution of the building or site to the historic district?



- ◆ What is the condition of the building?
- ◆ How feasible is adapting the structure to other purposes?
- ◆ Could the property be sold to someone willing to use the existing building?
- ◆ Could the building be relocated?
- ◆ Is there a proposed, compatible use for the site after the demolition?

## 4.2. Standards for Demolition of Historic Landmarks and Buildings

- 4.2.1. Choose demolition only as a last resort. Property owners of contributing buildings should design the replacement building to reflect the demolished building's height, scale, massing, and location. Applicants will have a heavy burden to demonstrate to the HPC that a replacement building with different height, scale, massing as the previously existing building is congruous with the Historic District.
- 4.2.2. Document the historic resource prior to demolition. Documentation shall take the form of black and white photographs, and color digital photographs of the building, structure, or site's principal elevations, architectural elements (both in exterior and interior), and special features. Measured drawings of the resource may also be required. The HPC shall determine on a case-by-case basis the extent of documentation required and the parties responsible for producing such documentation. The documentation shall be submitted to the HPC and become a permanent record of the City of Southport.
- 4.2.3. Salvage architectural features and building materials for reuse or study. Contact antique dealers and used building supply establishments to arrange for removal. Consider donations of items to interested non-profit organizations or museums or the NC-SHPO.
- 4.2.4. Minimize ground-disturbing activities during demolition to avoid damage to potential unknown archaeological resources and neighboring historical properties.
- 4.2.5. Retain mature trees on site, if possible.
- 4.2.6. Clean the site thoroughly of all building debris and leave the lot in safe/similar condition.



# Disaster Preparedness and Prevention

Southport's location on the Cape Fear River and less than two miles from the Atlantic Ocean make the City susceptible to winds, flooding, and storm surge from storms as well as high tide flooding. A proactive approach to improving the resiliency of structures, infrastructure and the economy is essential to preserve property, save lives, maintain services and speed up recovery from natural hazards. Hurricane Fran was the strongest hurricane to make landfall since Hazel (Cat 4, 1954) in NC in 1996 bringing 24.06 inches of rain to Southport and 137 mph winds. More recently, on September 16, 2024 the City received approximately 17 inches of rainfall within 12-hour period of time from Tropical Cyclone 8. The storm caused significant damage washing out key roadways and flooding homes.



Historic buildings and sites can be made more resilient to natural hazards without detrimentally impacting historic character. This section of the Southport Local Historic District Standards provides guidance on preventative measures, site adaptations, floodproofing, building elevation, foundations, venting, porches and other features, utilities and commercial buildings. Two resources that provide additional detailed guidance on improving the resiliency of structures and rebuilding after events include the following:

- Resilience Design Standards (<https://hrp.sog.unc.edu/resources/>)
- National Park Service Guidelines on Flood Adaptation for Rehabilitating Historic Buildings (<https://www.nps.gov/tps/standards/rehabilitation/flood-adaptation-guidelines.pdf>)



## 5.1. Standards for Temporary Protective Measures

- 5.1.1. Identify, retain, and preserve the historic materials, features, and spaces of the buildings, site, and setting that are important in defining the historic character of the property and sites. Assess their existing capacity for resilience as well as their known vulnerabilities.
- 5.1.2. Select temporary barriers or systems that will:
  - A. Protect the historic building and site from the anticipated type of flooding



or wind damage, and;

B. Deploy with the available warning times, labor, and equipment.

5.1.3. Assess the ability of the historic building's masonry walls and temporary flood barriers or wrapping systems covering masonry openings to withstand the forces of flooding. Consult with a structural engineer to determine whether the existing walls will require reinforcing to withstand such forces.

## 5.2. Standards for Disaster Preparedness and Prevention

5.2.1. Identify, retain, and preserve the historic materials, features, and spaces of the building, site, and setting that are important in defining the historic character of the property and landscape.

5.2.2. Protect and maintain historic materials, features, and spaces—including wood, masonry, metal, paint and color, foundations and walls, roofs, doors and windows, porches and entrances, storefronts, walkways and driveways, fences and walls, lighting and signage, and outbuildings—according to the Standards for Rehabilitation of Individual Landmarks and Buildings in the Southport Local Historic District.

5.2.3. Repair historic materials and features—including wood, masonry, metal, paint and color, foundations and walls, roofs, doors and windows, porches and entrances, storefronts, walkways and driveways, fences and walls, lighting and signage, and outbuildings according to these standards. It is inappropriate to remove significant materials and features rather than repair them.

5.2.4. If historic materials and features are deteriorated beyond repair, replace in-kind only the damaged portion, matching the original in material, size, shape, design, profile, scale, color, and texture. If the traditional material is located below the Base Flood Elevation (BFE) and is not inherently resilient to flood damage, consider a proven damage-resistant substitute material that matches the original in size, shape, design, profile, scale, color, and texture and meets Standards for Rehabilitation of Individual Landmarks and Buildings in the Southport Local Historic District.

5.2.5. Utilize existing historic and non-historic building and site features—including window shutters, gutters and downspouts, foundation vents,



and site topography—that can minimize and/or mitigate damage from wind and water.

- 5.2.6. Retain historic materials, features, and spaces when planning and undertaking any temporary or permanent flooding adaptation treatment. Consult a structural engineer, contractor, or architect to ensure that the intervention is appropriately calculated and that the building or site feature is structurally able to withstand both the intervention and any displaced loads from wind or water.
- 5.2.7. Install or employ temporary and permanent protective measures in a manner that does not damage or destroy historic materials, details, and other character defining features of the historic building or site.

## Site Adaptations and Parking

### 5.3. Standards for Site Adaptations and Parking

- 5.3.1. Identify, maintain, repair, and/or replace in-kind historic site features, materials, and spaces that are important in defining the overall historic character of the site and district.
- 5.3.2. Retain the historic spatial and topographic relationship between the building(s) and the site and setting.
- 5.3.3. Ensure surface water flows away from building foundations and landscape features.
- 5.3.4. Where topography permits, install a drainage system around the building foundation and footings to avoid any undermining of the building foundation and to allow for proper site drainage.
- 5.3.5. Reduce hardscape and design new driveways and parking areas to maintain as much permeable landscape as possible to reduce overland flows during storms.
- 5.3.6. Limit site runoff by installing new features—including cisterns, bio-swales, permeable pavers, and rain collection systems—that are able to retain heavy rains and floodwaters on-site only if they do not alter the historic features, materials, and spaces.

Alterations to the site must also meet the Standards for Site and Setting.

See Standards for Driveways and Off-Street Parking.



# Dry Floodproofing

## 5.4. Standards for Dry Floodproofing

- 5.4.1. Identify, maintain, repair, and/or replace in-kind historic exterior materials and features, that are important in defining the overall historic character of the site and district—including exterior walls and foundations that are below the Regulatory Flood Protection Elevation.
- 5.4.2. Consider dry floodproofing techniques only if they do not diminish the historic integrity of the building and if they do not have the potential to accelerate the deterioration of historic building materials and finishes.
- 5.4.3. Consider dry floodproofing techniques only for masonry buildings or frame buildings where the Regulatory Flood Protection Elevation is below the top of the masonry foundation.
- 5.4.4. Consult with a structural engineer to determine whether structural reinforcement of the foundation or wall is necessary (and possible) to withstand lateral forces. Any reinforcement should be installed in inconspicuous locations and with as little damage to historic materials as possible.
- 5.4.5. Anchor the structure to the foundation to prevent movement or collapse.
- 5.4.6. Install foundation vents that can be sealed in anticipation of flooding.
- 5.4.7. Consider the application of waterproofing coatings or membranes only on masonry surfaces that have been previously painted. It is not appropriate to apply waterproofing coatings or membranes to unpainted masonry or to wood surfaces, as it will cover the character-defining texture and color of the surface and may trap moisture within the wall.
- 5.4.8. It is not appropriate to apply waterproofing coatings or membranes above the Regulatory Flood Protection Elevation.

See Standards for Foundations, Fences and Walls, and Exterior Wood Siding, Trim and Ornamentation.



# Wet Floodproofing

## 5.5. Standards for Wet Floodproofing

- 5.5.1. Identify, maintain, repair, and/or replace in-kind historic materials and features, that are important in defining the overall historic character of the site and district—including interior and exterior walls and foundations that are below the Base Flood Elevation (BFE).
- 5.5.2. Consider wet floodproofing techniques only where the BFE falls below any finished spaces with historic features and materials and in spaces that can be abandoned for the duration of the period necessary to dry out.
- 5.5.3. Consult with a structural engineer to determine whether structural reinforcement of the foundation or walls is necessary. Any reinforcement should be installed in inconspicuous locations and with as little damage to historic materials as possible.
- 5.5.4. Anchor the structure to the foundation to prevent movement or collapse.

See Standards for Foundations, Fences and Walls, and Exterior Wood Siding, Trim and Ornamentation.

## Elevating Buildings Standards

Most of the topography in Southport is elevated but there are specific areas along Price Creek, Cottage Creek,

Elevating a historic building above the estimated flood risk level without significantly impacting its historic character is possible but it can be both challenging and expensive. It requires consideration of impacts to adjoining properties and the streetscape. A successful strategy depends on a number of factors, including building size, form, massing, style, materials, foundation type, porches, and setting.

A portion of historic buildings in Southport are located in a FEMA floodplain,

## 5.6. Standards for Elevating Buildings

- 5.6.1. Identify, maintain, repair, and/or replace in-kind historic materials and features, that are important in defining the overall historic character of the site and district—including exterior walls and foundations that may be impacted by elevating the historic building.

See Standards for Foundations, Fences and Walls, and Exterior Wood Siding, Trim and Ornamentation.



- 5.6.2. Consider elevating a frame building only where the Base Flood Elevation (BFE) extends above the top of the masonry foundation.
- 5.6.3. Consult with a structural engineer, architect, general contractor, or house mover to determine whether the building is structurally stable or whether structural reinforcement is necessary for the building to be elevated. Any reinforcement should be installed in inconspicuous locations—such as crawlspaces or within the wall structure—and without damage to historic materials.
- 5.6.4. Document the building through photographs and/or drawings—specifically any materials or features that will be lost—prior to the start of work.
- 5.6.5. When possible, maintain the relationship between the finished floor elevation of the historic building and the adjacent grade. The following design techniques can mitigate the visual effect of elevating historic buildings:
  - A. Consider increasing the height of the grade to meet the finished floor elevation, only if it will not significantly impact surrounding properties.
  - B. Consider adding fill under the house and around the foundation, gradually sloping the soil outward into the historic grade.
  - C. Consider a low retaining wall installed several feet away from the foundation.
  - D. Consider foundation plantings, other landscaping, or a low fence.
- 5.6.6. Maintain the visual relationship between the building, site features, and significant landscape elements including mature trees, fences, and walls as well as the relationship to neighboring buildings on the site and along the streetscape.
- 5.6.7. Consider the overall proportions of the building to ensure that an elevated façade does not alter the character-defining form or features of the building. For example, elevating a house with a strong horizontal expression (like a Ranch house) may be stylistically inappropriate. Identify, maintain, repair, and/or replace in-kind historic materials and features that are important in defining the overall historic character of the site and district—including interior and exterior walls and foundations that are below the Base Flood Elevation (BFE).
- 5.6.8. Elevate porches and additions to maintain their relationship to the main

See Standards for Foundations, Fences and Walls, and Exterior Wood Siding, Trim and Ornamentation.



building.

- 5.6.9. When possible, limit elevation to three feet above the BFE.
- 5.6.10. It is not appropriate to elevate a building that was constructed with, or later modified to include, a raised basement. Instead, consider utilizing wet floodproofing at the basement level.
- 5.6.11. It is not appropriate to elevate a building in order to allow for parking under the structure.

## Foundations and Foundation Vents

The modification or replacement of a historic building's foundation or piers to prevent flood damage is critical to preserve the building's character and appearance. When considering modification or replacement, consideration should be given to the size, configuration, topography, landscaping, height, mass, proportion, form, orientation, construction type of the building, existing setbacks, adjacent properties, and local building code regulations. It is essential to consult with a structural engineer or architect and a local code official to determine whether the building is structurally stable enough to be elevated and whether the existing foundation is capable of being extended or if a new foundation is necessary. In addition to supporting the building, the modified or new foundation must be capable of resisting lateral forces from increased height, storm surge, and wind loads. The modified or new foundation may also require structural reinforcement. Any reinforcements with non-historic materials, such as concrete blocks or cast-in place concrete, should be installed so that it is not visible on the building's exterior.

Foundation type should be factored in with the anticipated flooding type. Fast-moving flood waters do less damage to structurally support open pier foundations and solid masonry foundations with operable flood vents, both allow water to flow in and out while providing protection. On primary elevations, flood vents should be recessed within the foundation wall and should be similar in character to any existing foundation vents or screens. Pier foundations should include panels of pierced brick, wooden louvers, or lattice recessed between the piers to allow for passage of flood waters and ventilation. Wood panels may be painted in a darker color to minimize their visibility.

Where an existing foundation or piers can be adapted or replaced in kind, it is



important to approximate the appearance of the historic foundation in masonry size, color, texture, and bond pattern; mortar joint width, color, and profile; pier placement, width, and spacing; and other features and details—including foundation vents—especially on the primary elevation and other highly visible locations. Any non-historic materials necessary for reinforcement or stabilization should be veneered with the original foundation material so non-historic materials are not visible from the exterior.

The height of the new or adapted foundations can be mitigated by overlapping the bottom courses of exterior siding and trim or porch skirt boards to conceal the last few courses of the foundation, adding fill within the crawl space and the foundation perimeter, the addition of foundation plantings, fencing, or low retaining walls that meets the standards with this document.

## 5.7. Standards for Foundation and Foundation Vent

- 5.7.1. Identify, maintain, repair, and/or replace in-kind historic foundation materials and features, that are important in defining the overall historic character of the site and district—including foundations and foundation vents that may be impacted by elevating the historic building.
- 5.7.2. Design new foundations to be consistent with the design and materials of the original foundation, including masonry color, size, and bond pattern; joint width, color, and profile; and other visual qualities.
  - A. When possible, salvage and reuse historic materials and features including stone, brick, and decorative vents. Utilize salvaged materials on primary elevations when possible to lessen the visual impact of the increased elevation.
  - B. Construct foundations of traditional materials. The use of veneered material (typically brick) may be appropriate to conceal the use of non-traditional materials for the underlying structure. In those instances, the submission of drawings (elevations and large-scaled sections) is necessary to ensure compliance.
  - C. Ensure that masonry infill, when visible from the exterior, matches the original in size, shape, design, scale, color, and texture.

Must also meet Standards for Foundations, Exterior Wood Siding, Trim, and Ornamentation



- 5.7.3. Construct piers that match the width, number, and placement of historic piers, even if the new technology requires fewer supports.
- A. Foundation piers should align with any historic porch columns or piers above.
  - B. The exterior face of the piers and foundation should align with the exterior plane of the building framing. The porch skirt board and siding typically overlap the bottom of the sill by at least 1/2 inch.
  - C. In limited instances, where the foundation is elevated significantly, the width of the piers may be increased incrementally to maintain proper proportions, however floor plans and elevations must demonstrate that the historic integrity of the property will be maintained.
- 5.7.4. Maintain the visual appearance of historic piers by utilizing traditional infill materials—brick, louvers, lattice—that are recessed between piers and are darker in color.
- A. Louvered and lattice panels should allow for the free-flow of water and should be designed to “break-away” in the case of flooding.
  - B. It is not appropriate to use vertical plastic, metal, or other non-traditional materials to infill between piers. When possible, screen elevated foundations or piers with appropriate foundation plantings or fences to mitigate their visual impact. Locate structural reinforcements in inconspicuous locations.
- 5.7.5. Install flood vents in locations where the result is minimal material loss and visual impact to the building foundation.
- A. Locate flood vents on secondary and rear elevations when possible.
  - B. Select a compatible design and traditional placement for new vents and/or paint them to match the foundation material.
  - C. When possible, retain historic foundation vents—of either masonry or metal—on primary and secondary elevations. Consider adding flood vents behind historic foundation vents in order to minimize their visibility.
- 5.7.6. New foundations for mid-twentieth-century buildings constructed with slab-on-grade should match other foundations of the era, typically brick or concrete.



- 5.7.7. Extend the siding by a few board widths below the top of the foundation wall and/or reinstall skirt boards of a slightly wider width than was in place historically—typically between 4"-12"—in order to lower the visual transition between the building and foundation.

## Porches and Entrances

Porches and exterior entrances are prominent features on many homes in Southport. These features are exposed to the elements and often need additional reinforcement to resist impact from storm events. Attention should be paid to reinforcing a historic building's structural connections, particularly the roof and rafters to the columns or post to the foundation or piers. Any hurricane connectors or other types of reinforcement and bracing should be placed in a location to minimize their visibility on the exterior.

If the historic building has been elevated more than 30 inches above grade, the addition of railing is necessary to meet building code requirements. New handrails and balusters should be compatible in material and detail with the architectural character of the building. The addition of steps to front porches can draw attention to the increased foundation height. It is important to retain the original stair location, width, and detailing for achieving a unified appearance. However, if a stair run is significantly long, creating a landing or change in stair materials, design, or orientation can visually break the stair length and may also cause site restraints. Where site restraints are challenging, relocation or reorientation may be necessary. To minimize the perceived height of elevated porches or entrances, the addition of site fill, the addition of foundation plantings, or the addition of a low retain wall or fencing that visually screens the additional height may be appropriate.

The challenge of providing handicap access to elevated porches or entrances may be addressed with the addition of a ramp, mechanical lift, or elevator following the standards for accessibility and life safety.

Must also meet Standards for Accessibility and Life Safety.

## 5.8. Standards for Porches and Entrances

- 5.8.1. Identify, maintain, repair, and replace in-kind historic materials and features of porches, porticos, balconies, and projecting building wings and bays following the Standards for Foundations and Walls and Porches and Entrances.



- 5.8.2. Install hurricane connectors in inconspicuous places, not visible from public view, to firmly tie porches, porticos, balconies, and other projections to the structure of the main building. Connect individual elements—including ridges, rafters, joists, top and bottom plates, beams, posts, sill, and foundations—of the porch, portico, balcony or projection to each other to increase stability. When visible, paint connectors to match the adjacent materials in order to minimize their visual impact.
- 5.8.3. Firmly anchor columns and posts to the floor of the porch or portico. If necessary, install post bases into the bottom of wood posts or the base of wood columns to elevate them off of the finished floor to allow water to move beneath them and minimize deterioration of historic features.
- 5.8.4. Introduce new handrails or guardrails to extend the height of existing balustrades or railings only if necessary as a response to the increased height of stairs and porches.
  - A. Consider adding fill soil, when appropriate, to keep the height above grade to less than 30", eliminating the need for a new railing or guardrail.
  - B. Introduce new handrails or guardrails that are consistent with the design, material, and color of existing handrails or are of a simple design, material, and color and do not detract from the historic character of the building.

## Roofs and Chimneys

### 5.9. Standards for Roofs and Chimneys

Roofs are among some of the most distinguishing characteristics for different styles of architecture. A well-maintained roof is a historic building's first line of defense in shedding rainwater, but roofs are also susceptible to damage from high winds that can cause significant structural damage. Any decorative feature such as, chimneys, skylights, dormers, cupolas, cornices, gutters, and downspouts must be securely attached to withstand strong winds with intact flashing to minimize water penetration.

Roofs and chimneys should be routinely inspected to ensure roofing materials are in good shape, nails and fasteners are secure, caulking and flashing have not deteriorated. Although some materials are more durable than others, such as standing seam metal roofs, severe weather events can take a toll on these roof



types. It is important to secure any loose units or replace any missing sections with in-kind materials. In addition to, keeping them painted if appropriate to prevent them from rusting. Elastomeric coatings can increase the resiliency of a standing seam metal roof by protecting them from deterioration due to corrosion.

At times, there are concerns about the capability about a building's roof to withstand hurricane strengthen winds. In these cases, a structural engineer can assist with identifying the structural integrity of a historic building's roof. Any additional bracing or tie-down hurricane fasteners should be located in inconspicuous locations or attics.

In addition to roofs, masonry chimneys are other distinctive features of many historic buildings and are at high risk of damage or collapse when exposed to severe wind. Moisture from heavy rains overtime can cause the masonry units of the chimney to deteriorate due to loss of mortar and spalling of brick. Metal chimney caps prevent moisture entry through the flue and should be tightly secured and anchored down using stainless steel cables and weights to resist high winds.

When a historic building is elevated, chimneys must also be elevated proportionally to retain their relationship to the building's exterior. The new foundation should be consistent with the shape and dimensions of the historic chimney and match the original masonry work in materials and appearance. If the chimney is not structurally stable to repair or elevate, it should be replaced with a new chimney that matches the size, configuration, materials, and appearance of the original chimney.

- 5.9.1. Identify, maintain, repair, and replace in-kind historic materials and features of roofs and chimneys.
- 5.9.2. When installing new standing-seam metal roofing, consider doubling the number of cleats/fasteners on the lower few feet of the roof (along the fascia) and utilizing screws instead of nails along the eave line and rake (gable end).
- 5.9.3. For elevated buildings, evaluate existing chimneys to ensure that they have the structural capacity to be elevated along with the house.
  - A. If so, ensure that the new masonry base supporting the chimney matches the original chimney base in size and design; masonry size, shape, color, and texture; and mortar color, width, texture, and tooling profile; and bond pattern.

Must also meet standards for roofs and masonry.



- B. If not, construct new chimneys that match the original in size and design; masonry size, shape, color, and texture; and mortar color, width, texture, and tooling profile; and bond pattern.
- 5.9.4. It is not appropriate to install metal flashing on chimneys or parapets on primary or secondary elevations of if it would compromise the design or materials of the historic building or the character of the district.

## Windows, Doors, and Shutters

### 5.10. Standards for Windows, Doors, and Shutters

Windows and doors are two of the most distinctive character-defining features of historic buildings. While traditionally designed and constructed to be resilient against water and preventing air infiltration, they are vulnerable to damage from high-wind and flooding. Keeping windows and doors well maintained, weather-stripped, and caulked contributes to building efficiency and resiliency by ensuring weathertight seals prevent water and air infiltration around window and door openings.

Operable louvered or paneled shutters are an effective way to provide protection for historic windows against high-winds. Many historic homes in Southport have operable shutters. Shutters should fill the window opening, with each leaf covering the full height and width of the window. Traditionally, shutters are constructed of wood, but in some situations, the use of period-appropriate operable shutters constructed of a proven damage-resistant substitute material (such as synthetic wood) that meets design standards for substitute materials and matches the configuration and texture of traditional wood shutters may be an appropriate substitution. In addition to operable shutters, the installation of impact-resistant acrylic panels on the reverse face of the shutters adds additional protection that is only visible when the shutters are closed.

Storm windows and doors add a layer of protection while increasing energy efficiency. Storm windows can also be paired with operable shutters to provide a double defense for historic windows. Narrow-profile storm windows should be compatible in color with the window sash or exterior trim to minimize their appearance. Storm window dividers should align with the meeting rail of existing double-hung window sashes.



Commercial buildings in Southport, typically have large storefront windows. Existing or replacement windows may use a wind-resistant film that does not alter the appearance of glass but offers protection against storms. When replacing damaged glazing, impact-resistant laminated glass is a good option that offers significant protection from severe storms and airborne or waterborne debris that could shatter glass.

In addition to permanent solutions, temporary panels and hurricane shields offer protection for historic windows and doors. When installing and removing temporary solutions, it is important to minimize damage to historic materials and surfaces.

- 5.10.1. Identify, maintain, repair, and replace in-kind historic materials and features of historic doors, windows, shutters, and their associated hardware.
- 5.10.2. Maintain all windows, doors, shutters, and associated hardware in good working condition to allow access to all openings so that they may be secured and/or protected with a covering. Verify locks, fasteners, and tiebacks are well anchored into the wall or frame. Install interior, long-throw, slide bolts at the top and bottom of each double-leaf door.
- 5.10.3. Consider the installation of operable wood shutters to protect historic windows from high winds and airborne debris.
  - A. Install shutters only if they are compatible with the architectural style of the house and scale of the windows.
  - B. Consider replacing existing, non-historic, fixed shutters with operable shutters that are appropriately sized to the window or door opening.
  - C. Consider installing acrylic to the reverse side of operable shutters to provide additional protection.
  - D. It may be appropriate to consider a proven damage-resistant substitute material that matches the original in size, shape, design, profile, scale, color, and texture and meets the Standards for Substitute Materials.
- 5.10.4. Consider introducing narrow-profile exterior storm windows that do not obscure or damage a historic building's existing sashes and frames to protect existing windows from water and wind infiltration.
  - A. Select storm windows with a painted or factory-finish compatible with the existing sash or exterior trim color.

See Standards for Exterior Wood Siding, Trim, Ornament, and Windows, Doors, and Shutters.

Must meet Standards for Substitute Materials.



- B. Align operable storm window dividers for double-hung windows with the meeting rail of existing sashes.
- 5.10.5. Consider installing clips, fasteners, or brass "cups" to existing storefronts and window trim to allow pre-cut plywood panels, fabric storm panels, or other hurricane protection to be installed quickly in the event of a storm and without repeated nailing and screwing into historic wooden surfaces and features.
- A. Panels should fit within the opening (as opposed to on the face of the adjacent wall surface) if at all possible and attach to existing trim, such as blind stops at the window.
  - B. Clips and fasteners of stainless steel or other rust- or corrosion-resistant metal should be preinstalled and painted to match the trim.
  - C. To minimize damage to historic woodwork, utilize reusable, countersunk brass bolts with receiving cups that can be sealed with rubber caps when panels are not installed.
  - D. The number of clips, fasteners, and cups should be as few as possible to meet the manufacturer's recommendations and, when possible, should be installed in locations that are minimally visible.
  - E. Fasteners should be set in a sealant to minimize water intrusion and potential deterioration of historic material.
  - F. If it is necessary to attach fasteners to a masonry surface, they must be installed within mortar joints to prevent damage to the masonry units.
  - G. Install fabric, plywood, or acrylic panels only in the event of an approaching storm and remove within fourteen days of the threat passing.
- 5.10.6. For new windows or replacement glazing, consider installing laminated impact-resistant glass or applying wind resistant films, which do not alter the appearance of windows.
- 5.10.7. Permanently installed track systems, panels, roll-up or accordion shutters are not appropriate on residential buildings.

See Standards for Windows, Doors,  
and Shutters



## Utilities and Systems

Utilities and mechanical systems are typically installed at the first floor of a building, at grade on a building's exterior, or in crawl spaces—all locations make them especially vulnerable to damage from flood waters. Due to its coastal location, Southport is prone to high winds, tidal flooding, and flooding from minor and major storm events. Flooding can cause significant damage to mechanical, electrical, and plumbing systems. Southport's Flood Damage Prevention Ordinance helps protect buildings in special flood hazard areas but most historic buildings and structures were built before this regulation was in place and are not located in a regulatory floodplain. Fully operating systems are essential after a storm event. Properly operating systems circulate air and remove moisture from the air, which is essential especially after flooding occurs because mold can form within twenty-four hours.

A building's exterior mechanical systems can often be elevated using platforms or raised bases above the flood risk level with minimum visual impact if they are located on a secondary or rear elevation. Because these units will remain subject to severe weather, it is important to ensure they are adequately supported and secured against high-velocity winds and their connections are waterproofed. For instances when mechanical systems can be moved indoors, they should be located where they are least susceptible to flooding. The relocation of mechanical systems to the indoors may result in an exterior alteration. Any such alteration should be located to the rear elevation when possible or a side elevation that is not visible from the street.

### 5.11. Standards for Utility and System

- 5.11.1. Relocate utility equipment and components—including, but not limited to compressors, air handlers, ductwork, generators, elevator equipment, electrical outlets and panels, water heaters, and communication service—above the Regulatory Flood Protection Elevation.
- 5.11.2. Locate utility equipment and components, especially elevated utilities, on secondary or rear elevations and screen elevated building systems with vegetation, fencing, low walls, or wood lattice to reduce their visibility.
- 5.11.3. Ensure that relocated utilities, as well as oil and natural gas tanks, are securely anchored to meet wind- and floodwater-resistant requirements, retain the necessary space and ventilation, and are accessible for service

Alterations to the site must also meet the Standards for Site Features and Plantings.



and inspection.

- 5.11.4. After elevating a building, or elevating or relocating utilities, remove any abandoned equipment or hazardous materials from the site, building, or former crawlspaces and dispose of appropriately.
- 5.11.5. Consider installing back-up generators above the Regulatory Flood Protection Elevation.
- 5.11.6. Consider installing a backflow valve to prevent sewer and drain back-ups.
- 5.11.7. Consider installing a Ground Fault Circuit Interrupter (GFCI) to protect the electrical system and reduce the potential for fire.

## Commercial Buildings

### 5.12. Standards for Commercial Buildings

- 5.12.1. Install flood barriers, walls, or panels on secondary or rear building elevations only if the loss or alteration of historic building materials can be minimized.
- 5.12.2. Install temporary flood panels on primary elevations only if their installation does not result in a loss of historic building material and if the fasteners can be largely inconspicuous when the panels are not installed.
  - A. Avoid installing fasteners to hollow metal or early rolled storefronts, but instead install them to the inside jamb of the opening.
  - B. Fasteners of stainless steel or other rust- or corrosion-resistant metal should be installed through the mortar joints of any masonry surfaces, rather than through the brick.
- 5.12.3. Consider installing clips, fasteners, or brass "cups" to existing storefronts and window trim to allow pre-cut plywood panels, fabric storm panels, or other hurricane protection to be installed quickly in the event of a storm and without repeated nailing and screwing into historic wooden surfaces and features.
  - A. Panels should fit within the opening (as opposed to on the face of the adjacent wall surface) if at all possible and attached to existing trim, such as blind stops at the window.



- B. Clips and fasteners of stainless steel or other rust- or corrosion-resistant metal should be preinstalled and painted to match the trim.
  - C. To minimize damage to historic woodwork, utilize reusable, countersunk brass bolts with receiving cups that can be sealed with rubber caps when panels are not installed.
  - D. The number of clips, fasteners, and cups should be as few as possible to meet the manufacturer's recommendations and, when possible, should be installed in locations that are minimally visible.
  - E. Fasteners should be set in a sealant to minimize water intrusion and potential deterioration of historic material.
  - F. If it is necessary to attach fasteners to a masonry surface, they must be installed within mortar joints to prevent damage to the masonry units.
- 5.12.4. Where bulkheads (the wall beneath display windows) have already been altered with replacement materials or finishes, consider installing waterproof finishes or materials to further "harden" the bulkheads to withstand flooding. Replacement finishes or materials should replicate historic finishes and materials in scale, pattern, and texture.
- 5.12.5. Consider the installation of water-resistant interior and exterior materials and finishes only if historic materials have already been lost, and if the replacement materials replicate historic materials and finishes in scale, pattern, and texture.
- 5.12.6. Permanently installed track systems, panels, roll-up or accordion shutters may be considered on commercial buildings only if the tracks can be fully concealed.